

# McCALL AREA PLANNING AND ZONING COMMISSION

## Agenda

February 6, 2018 – 4:30 p.m.

McCall City Hall – Lower Level

216 East Park Street, McCall, ID 83638

**COMMISSION MEETING – Begins at 4:30 p.m.**

### CALL TO ORDER AND ROLL CALL

#### 1. REVIEW & APPROVAL OF MINUTES

- January 9, 2018

#### 2. PRELIMINARY DEVELOPMENT PLAN REVIEW MEETINGS

##### Pre-Application

##### 2043 Plymouth

Hawk Inc. representing John Julian: A pre-application for a Variance to decrease the rear setback from 20 ft to 10 ft. The property is zoned R4 – Low Density Residential and is more particularly described as:

Lot 9, Block 7, State Subdivision – Cove Re-Plat, situate Section 3, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

##### Pre-Application

##### TBD Clements St.

Eli Medina representing A & Z Development: A pre-application to construct a subdivision of seventeen (17) “Tiny” homes of approximately 900 sq. ft. each. The property is zoned R8 – Medium Density Residential and is more particularly described as:

Tax Parcel 404, McCall Acreage, Situate in SE1/4, NE1/4, Section 9, T18N, R3E, BM, City of McCall, Valley County, Idaho.

#### 3. CONSENT AGENDA

##### ROS-18-05

##### 324 West Lake St.

Joel W. Droulard, PLS representing Jan Hawkins Cottrell LLC and Gabriela Harper: A Record of Survey to adjust the property line between two parcels to add 1907 sq ft to the Cottrell property. The property is zoned R4-Low Density Residential and is more particularly described as:

Tax Parcels 48D and 265, Lot 10, Block E, Brundage Subdivision, situate in Section 8, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

##### ROS-18-07

##### 106 and 122 South Mission St.

Secesh Engineering representing Jim Hinson and Joe Swinford: A Record of Survey application to adjust the lot line between two parcels and create a third parcel. The properties are zoned I – Industrial and are more particularly described as:

Lots 3 and 4 of Second Amended Riverside Subdivision situate in the NW ¼ of the SW ¼ of Section 16, T18N, R3E, BM, City of McCall, Valley County, Idaho

**ROS-18-09**

**376 Verita Rd.**

Secesh Engineering representing Shore Lodge Whitetail: A record of survey application to combine one existing lot of record with a parcel of approximately 0.36 acres - and to combine a separate existing lot of record with a second parcel of approximately 0.30 acres. The property is zoned R4 – Low Density Residential and R8 – Medium Density Residential. And is more particularly described as:

Lots 23 and 24 Block 4, Broken Ridge Subdivision, situate in NE ¼ of the NE ¼ of Section 18, T18N, R3E, B.M. and a portion of the SE ¼ of the SE ¼ of Section 6, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

**DR-18-10**

**901 Yew Wood St.**

Breckon Land Design representing Chester and Deborah Wood: A Design Review application to make site improvements for an on-site storm water management system that will modify existing drainage patterns and additional landscape work. The property is zoned R4 – Low Density Residential and is more particularly described as:

Lot 49, 50 and 56, Group C in Payette Lake Club, situate in Section 5, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

**4. OLD BUSINESS**

**DR-18-02, ROS-18-08**

**304 Placid St.**

Bennett Childs representing Diana and Patrick Withen: Record of Survey and Design Review applications to combine two existing lots of record into a single parcel of approximately 0.65 acres to allow greater lot coverage and to construct a 3,600 sq. ft. garage and sun room addition on an existing residence. The property is zoned R4 – Low Density Residential and is more particularly described as:

Lot 8 and recently combined Lots 9 and 10, Hidden Subdivision, situate in NE1/4, NW1/4, Section 16, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

**CONTINUE PUBLIC HEARING**

**5. NEW BUSINESS**

**CA-18-01**

**McCall Municipal Airport**

Jay Scherer for the City of McCall: An application to amend the city code to provide a definition for “hangar” and add hangars as a permitted use in the airport zone.

**PUBLIC HEARING**

**PUD-18-01, SUB-18-01, VAC-18-01, ZON-18-01**

**1000 State Street – St. Luke’s McCall**

The Land Group Inc. representing St. Luke’s McCall: Planned Unit Development General Plan, Subdivision Preliminary Plat, Vacation of Right-of-Way, and Zoning Map Amendment applications to relocate of a portion of the Hewitt Street right-of-way, combine seven parcels into a lot of record, and to rezone a single parcel of R4 – Low Density Residential zoning to CV – Civic, to facilitate the expansion and renovation of McCall Medical Center. The property is zoned as CV - Civic and R4 - Low Density Residential and is more particularly described as:

Lots 1, 2, 3 and 4 Block G and Lots 1, 2, 3 and 4 Block F in Brundage Subdivision situate in S8, T18N, R3E, BM, Valley County, Idaho.

**PUBLIC HEARING**

**DR-18-09**

**910 Hayes St.**

Paul Hoffman representing Jeff and Andrea Symmonds: A Design Review application to construct an accessory dwelling addition of 1255 sq. ft. that will connect an existing 1100 sq. ft. cabin with an existing 551 sq. ft. detached garage. The property is zoned R8 – Medium Density Residential and is more particularly described as:

Lots A and B, situate in Section 7, T10N, R3E, B.M., City of McCall, Valley County, Idaho.

**PUBLIC HEARING**

**SH-17-15**

**217 Morgan Dr.**

Pinetop Custom Homes representing Tom Helpenstell: A Shoreline Review application to construct a new single family dwelling of approximately 2875 square feet with a detached 557 square foot garage and caretaker's quarters. The property is zoned R8 – Medium Density Residential and is more particularly described as:

Lot 20 in River's Crossing Subdivision situate in the South ½ of S17, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

**OTHER**

- Review Commissioner Applications

**6. ADJOURNMENT**

American with Disabilities Act Notice: The Planning and Zoning Commission meeting room is accessible to persons with disabilities. If you need assistance, contact City Hall at 634-7142.

**City of McCall**

216 East Park Street  
McCall, ID 83638  
Phone (208) 634-7142  
Fax (208) 634-3038



**PRE-APPLICATION MEETING FORM**

The Applicant will present to the Administrator and Commission, in a scheduled meeting, but a non-public hearing, a *preliminary development plan* for review and discussion. All materials to be reviewed and discussed shall be provided, or be available, to Commission members at a regular scheduled meeting of the Commission. The pre-application meeting (no fee involved) is required for all land use applications except Record of Survey, Design Review and Scenic Route applications. Please contact the Community Development Department at (208) 634-7052 to schedule a pre-application meeting.

**Please check all that apply:**

- Annexation or Rezone (ZON)
- Conditional Use Permit (CUP)
- Planned Unit Development (PUD) General Plan
- Planned Unit Development (PUD) Final Plan (no fee)
- Subdivision (SUB) Preliminary Plat
- Subdivision (SUB) Final Plat (no fee)
- Street Vacation (VAC)
- Variance (VAR)

Date Received: \_\_\_\_\_

1/16/18

**Applicant Information**

Applicant: John Julian Phone/Email \_\_\_\_\_

Applicant's Mailing Address: \_\_\_\_\_

Agent/Respresentative: Hawk Inc. Phone/Fax/Email: 208-630-4492

Agent/Representative's Mailing Address: PO Box 1810, McCall ID 83638

Address of Subject Property: 2043 Plymouth, McCall ID 83638

Legal Description of Property: Lot 9 Block 7, State Subdivision-Cove Replat, Valley County, Rec Oct 24 2013, Inst# 381368 BK 13 of plats, pg 5

Zoning District of Property: A.P.N. LR006540070090 and XR006540070090

**Explain the general nature of what is proposed:**

A decrease in the rear setback from 20 feet to 10 feet to allow space for garage to be built due to the traveled roadway access.

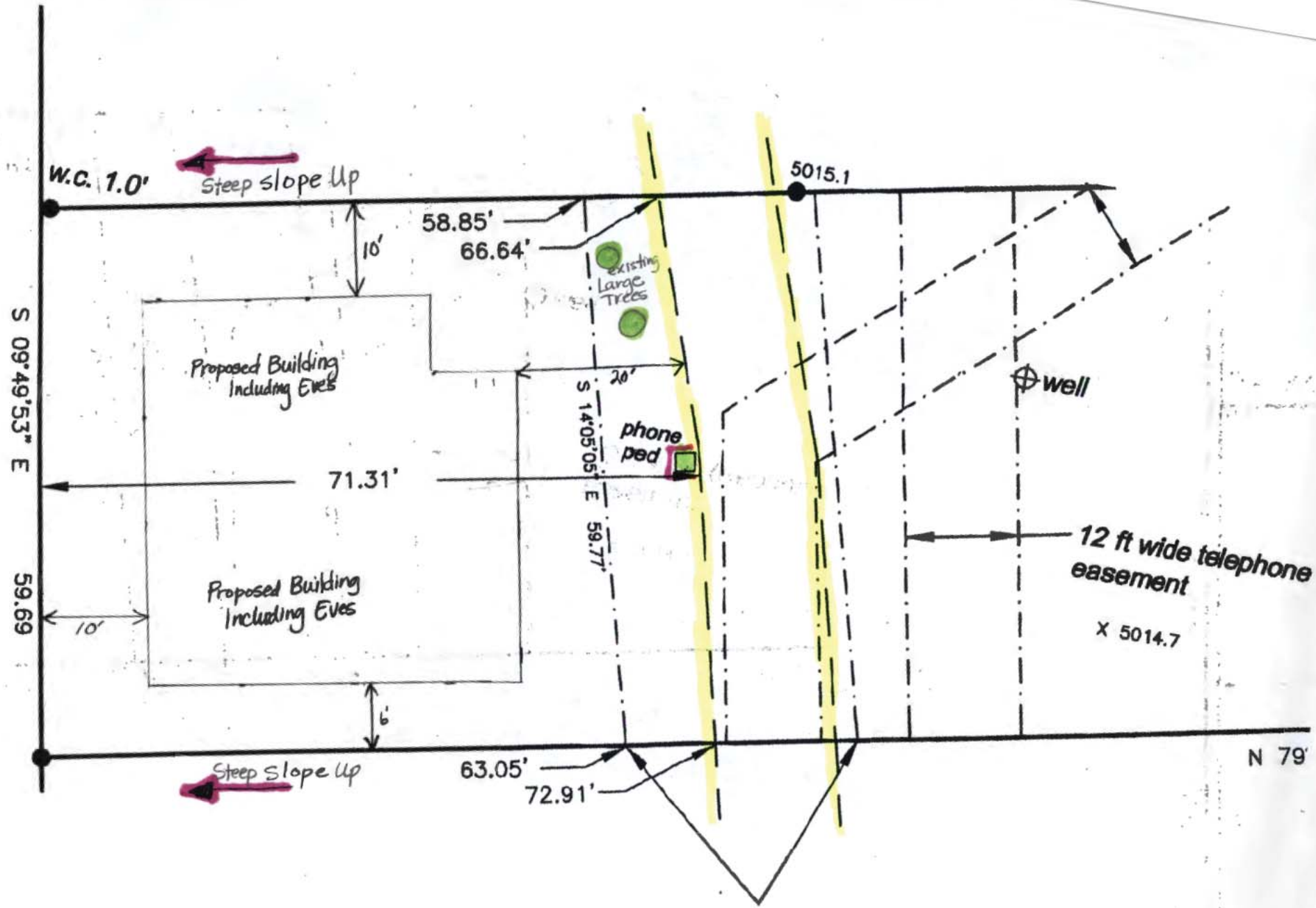
Traveled roadway with setbacks removes a 65' section from property's building opportunities.

Current building envelope for garage next to home is unusable due to location, slope, and existing utilities infrastructure.

Owner is anticipating purchasing the sloped state property to the rear when it comes available at auction.

\*Please submit four (4) hard copies of the preliminary development plan with this form, not greater than 11" by 17" in size. Please also include a digital copy of the preliminary development plan.





2043 Plymouth  
 Lot 9 Block 7 - State Subdivision - Core Park



# Planning and Zoning Commission Meeting

## OVERVIEW

Regarding the Residence of John Julian at 2043 Plymouth, Pilgrim Cove

Our goal is to create a building envelope for a proposed accessible garage that will preserve existing forest setting of large trees by requesting a variance to the rear setback requirement from 20' to 10'.

The setback requested would also allow for and take into consideration 4 feet of eaves on the structure, 2 feet in the front and 2 feet in the rear. (East and West sides of the proposed structure)

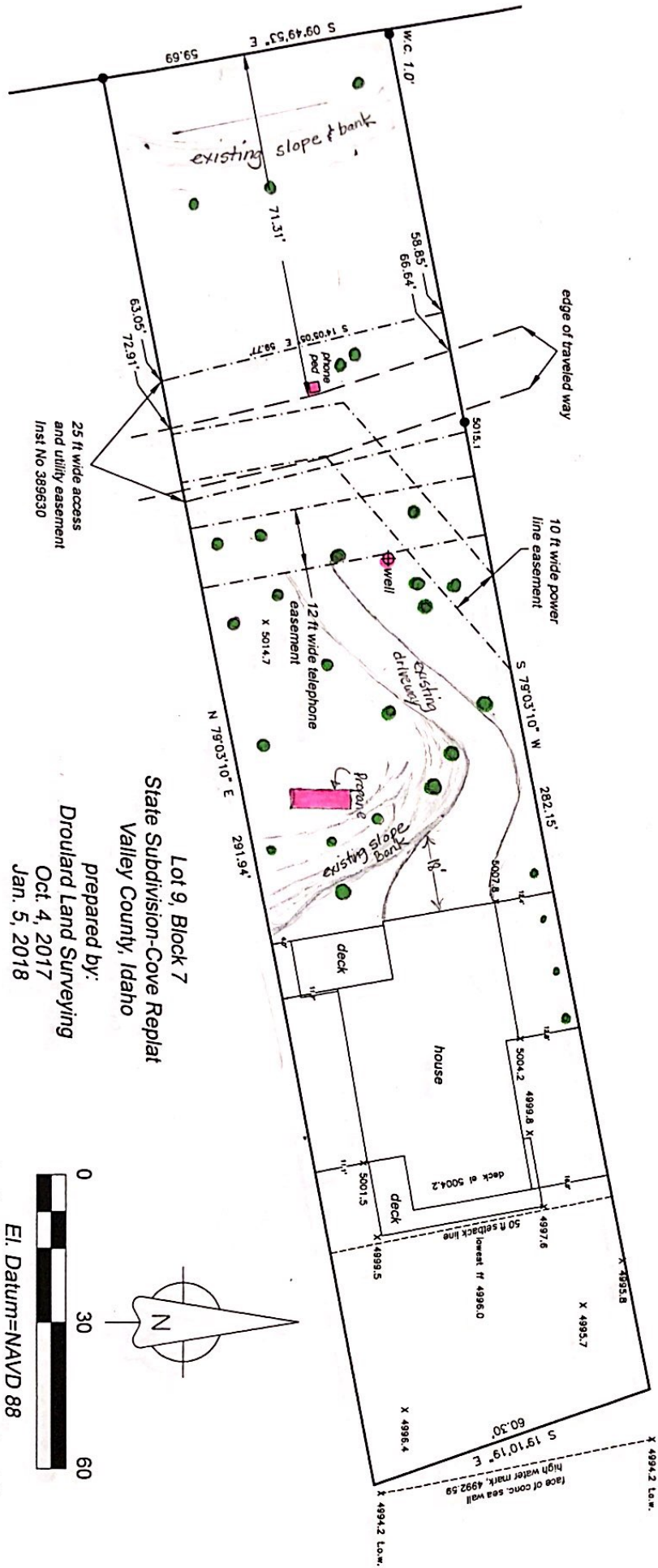
We are also proposing to push the structure into the hill, and maximize the front setback along our common road to provide for entry into the proposed garage.

## GOALS

1. Create a more accessible building space by utilizing a section at the rear of the property.
2. Preserve the trees and natural forest appearance including the open and natural feel of the drive for the neighborhood.

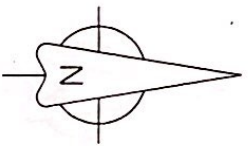
## Additional Information For Consideration

- Due to elevation changes, the existing garage is nestled down low in an area which allows little to no backup and pull in or out space for a standard size vehicle. Adjustments to the existing grade to improve access would not only be costly, but would cause removal of several large trees in front of the entry of the home and require relocation of sewer line, power, well, telephone, and propane utilities.
- Owner would like to preserve the "forest feel" of the area by building the proposed garage across the traveled roadway to the west side of the property which is common in his neighborhood.
- Owner (John Julian) has shared the variance application and schematic with several of his neighbors. Both adjacent neighbors to his property have already pledged their support. He has received no negative information.
- The lot bordering the requested 10 foot setback variance is owned by the state.
- Regarding the state owned lot that would be most impacted by the variance:
  - Currently there is no road access to the lot, an easement would be needed to cut through state owned lots adjacent to it in order to gain access. There are no utilities currently to the vacant land.
  - John Julian is planning on purchasing the lot as soon as the state makes it available at auction.
  - The topography would dictate that it would be extremely difficult for anyone to build near the variance site.
  - Views from the state owned lot would not be impacted by the proposed structure given the steepness of the hill.



Lot 9, Block 7  
 State Subdivision-Cove Replat  
 Valley County, Idaho

prepared by:  
 Drouland Land Surveying  
 Oct. 4, 2017  
 Jan. 5, 2018



EI. Datum=NAVD 88  
 elevations shown are ground, unless otherwise noted

● - represents existing trees

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**Please check all that apply:**

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- Subdivision (SUB) Preliminary Plat
- Subdivision (SUB) Final Plat (no fee)
- Street Vacation (VAC)
- Variance (VAR)

Date Received: \_\_\_\_\_

### Applicant Information

Applicant: A & Z Development Phone/Email: \_\_\_\_\_

Address of Subject Property: TBD

Legal Description of Property: TBD

Zoning District of Property: TBD

Explain the general nature of what is proposed:

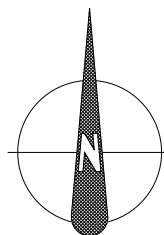
We are wanting to develop a subdivision of "Tiny" Homes.

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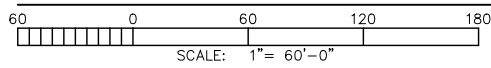




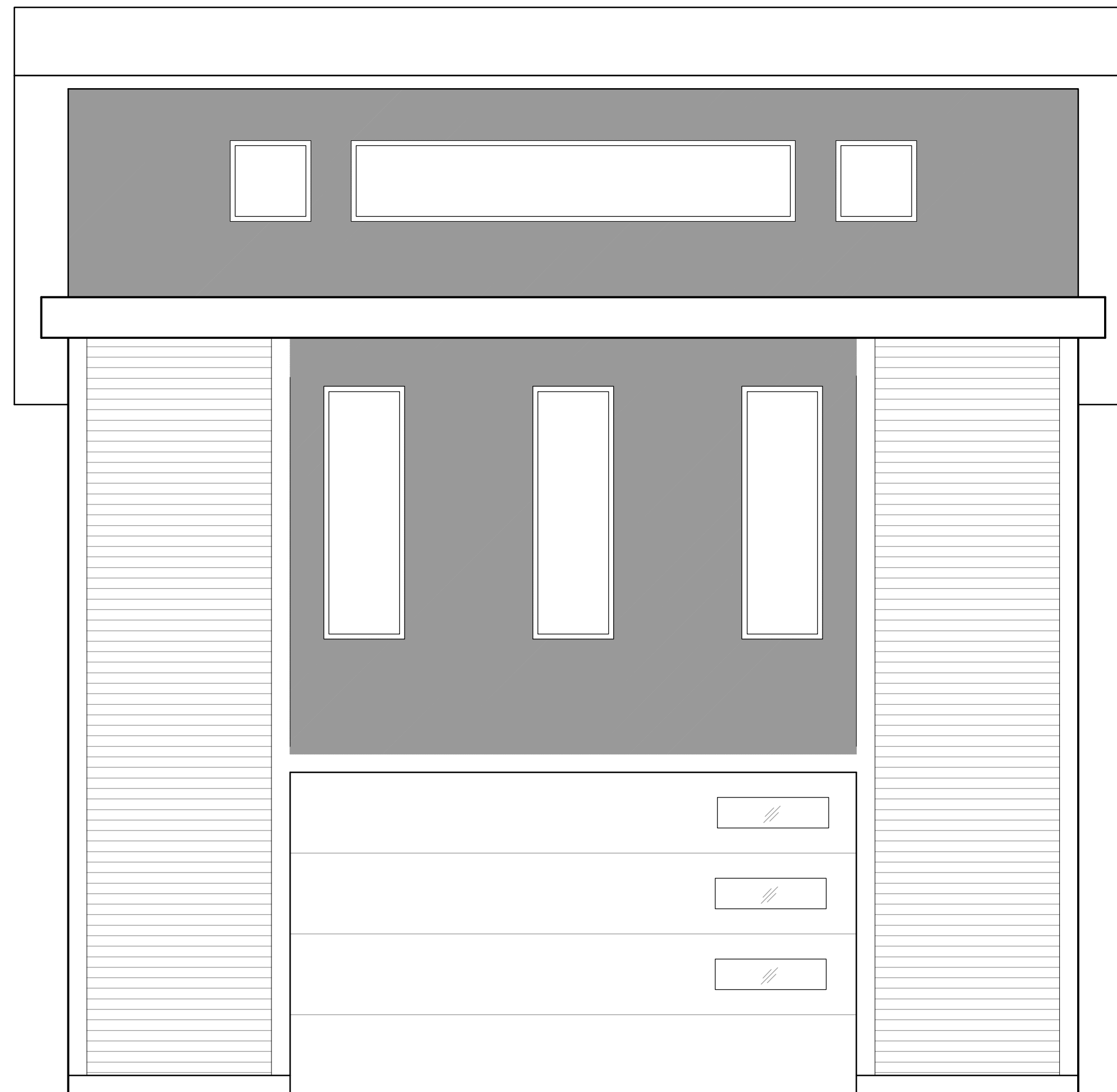
- 21 PROPOSED UNITS (10 JENNY, 11 XAVIER)
- LOT SIZES  
 JENNY - 69' x 37.67' (2592 SF)  
 XAVIER - 65.33' x 39' (2547 SF)
- SETBACKS  
 15' FRONT  
 5' SIDE/REAR



CLEMENTS ROAD  
 MCCALL, IDAHO  
 CONCEPT LAYOUT







Client	Structural
Contact: A&Z Development Attn: Alex Lytle Address: 769 Meaghan Pl. Boise, ID 83712 PH: 208.794.9227	Tamarack Grove Engineering Contact: Brian J. Sielaff 812 S. La Cassia Drive Boise, ID 83705 PH: (208) 345-8941

#### Sheet Schedule

GENERAL
A0.0 COVER SHEET / GENERAL NOTES A1.0 SITE PLAN
ARCHITECTURAL
A1.1 FLOOR PLAN A3.0 ELEVATIONS A3.1 ELEVATIONS A4.0 BUILDING SECTION
STRUCTURAL
S1.0 PROPOSED FOUNDATION PLAN S1.1 PROPOSED FLOOR FRAMING PLAN S1.2 ROOF FRAMING PLAN S4.0 FOUNDATION DETAILS S5.1 FRAMING DETAILS

#### Building Scope & Project Narrative

New Single Family House over Garage. Aprox. 700 Sq Ft Living, Aprox 700 Sq Ft garage. Conventional framed walls.

**PROJECT ADDRESS**

TBD

PARCEL:  
YEAR:  
ZONE CODE:  
TOTAL ACRES:



812 S. La Cassia Drive  
Boise, ID 83705

(208) 345-8941  
fax (208) 345-8946  
web www.tamarackgrove.com

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symbol	revision	date

### The Jenny

A New Residence

McCall, ID

sheet title:  
**A0.0 Cover Sheet**

job No:	TGE17-9437
dwg date:	February 5, 2018
drawn by:	Dustin M.
checked by:	Caitlin D.

**TGE**  
**A0.0**

# The Jenny

## A&Z Development

80% Architectural Set

February 5, 2018

Mark	Qty	Nominal Size		Type	Frame		Rating		Remarks
		Width	Height		Mat.	Fin.	U-Fact.	Solar	
W1	5	4 0	4 0	SH	VINYL	FACT	0.28		
W2	6	3 0	3 0	SH					
W3	1	2 0	2 0	SLDR					
W4	3	2 0	1 0	FXD					Frosted
W5	1	0 8	6 5	FXD					Frosted
W6	6	3 0	1 0	FXD					Frosted

\*NOTE:  
Maximum U-factor of 0.28 for all vertical fenestration.

S.G. - Denotes Safety Glazing. See plan for locations

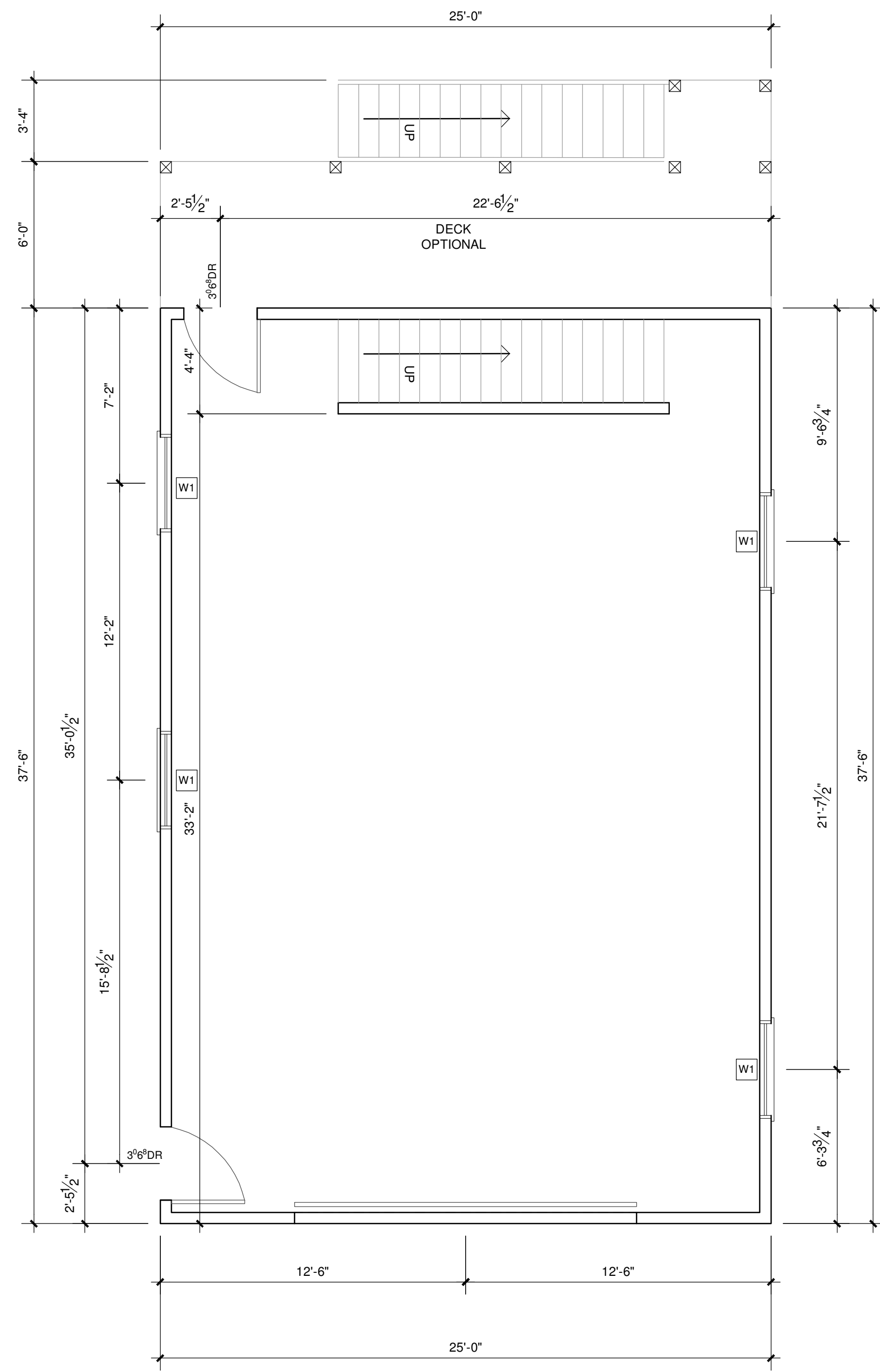
E.E. - Emergency Egress. See plan for locations. All bedroom windows shall have an operable panel at least 5.7 s.f., sill heights set at 44" A.F.F. min.

### Framing Notes

- For common framing details and connections refer to sheet S5.0
- 

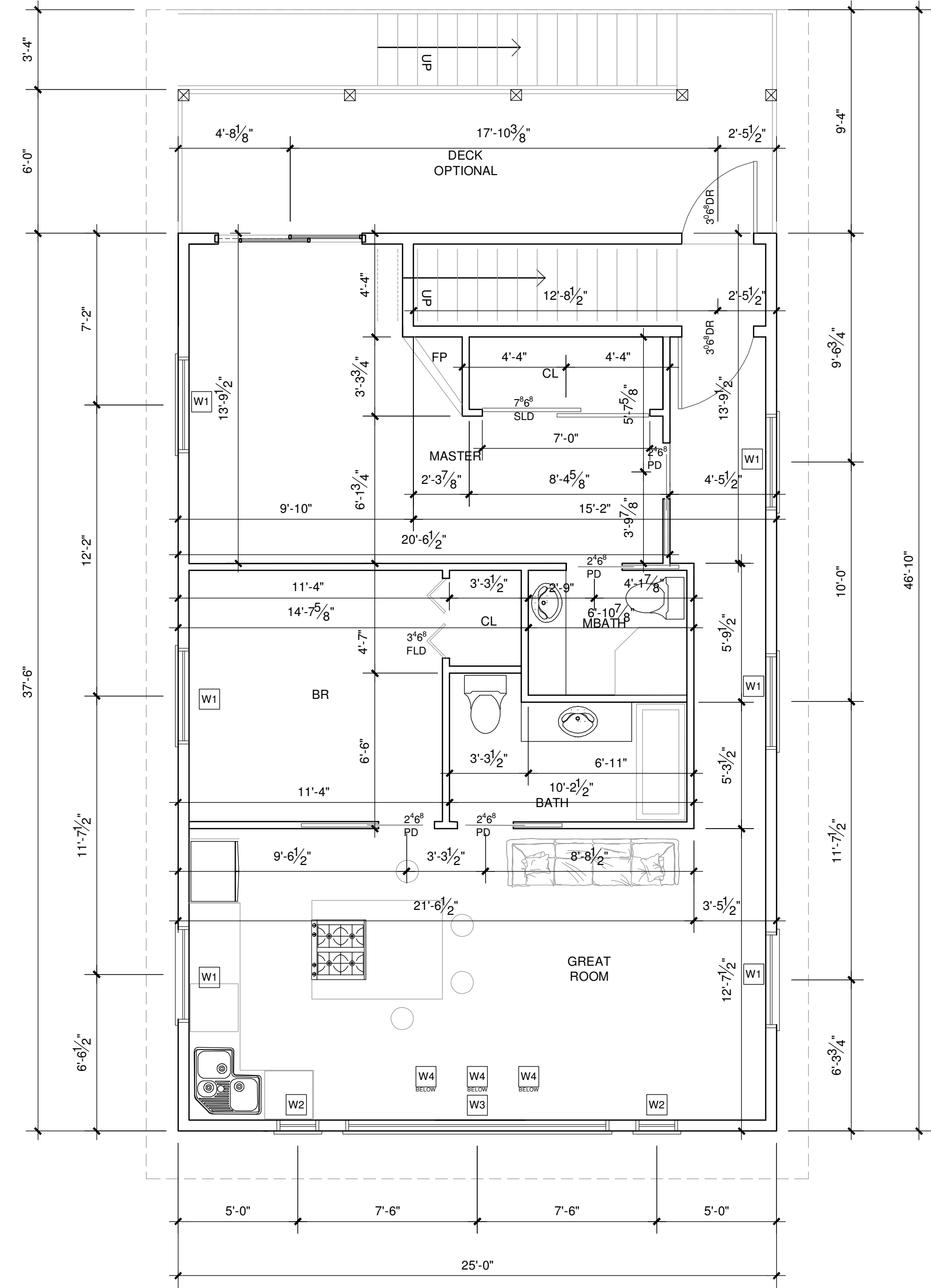
### Legend

- CONVENTIONAL FRAMED 2X WALL
- POST / COLUMN  
SP - STUD PACK
- ROOF OUTLINE



Garage First Floor Plan

SCALE: 1/4" = 1'-0"



House Second Floor Plan

SCALE: 1/4" = 1'-0"

Mark	Qty	Nominal Size		Type	Frame		Rating		Remarks
		Width	Height		Mat.	Fin.	U-Fact.	Solar	
W1	10	4 0	4 0	SH	VINYL	FACT	0.28		
W2	2	2 0	2 0	FXD					
W3	1	11 0	2 0	FXD					
W4	3	2 0	6 3	FXD					

\*NOTE:  
Maximum U-factor of 0.28 for all vertical fenestration.

S.G. - Denotes Safety Glazing. See plan for locations

E.E. - Emergency Egress. See plan for locations. All bedroom windows shall have an operable panel at least 5.7 s.f., sill heights set at 44" A.F.F. min.

**TAMARACK GROVE**  
ENGINEERING

812 S. La Cassia Drive  
Boise, ID 83705

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symbol	revision	date

## Jenny's Residence

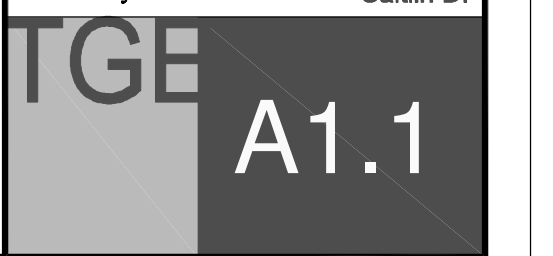
A New Residence

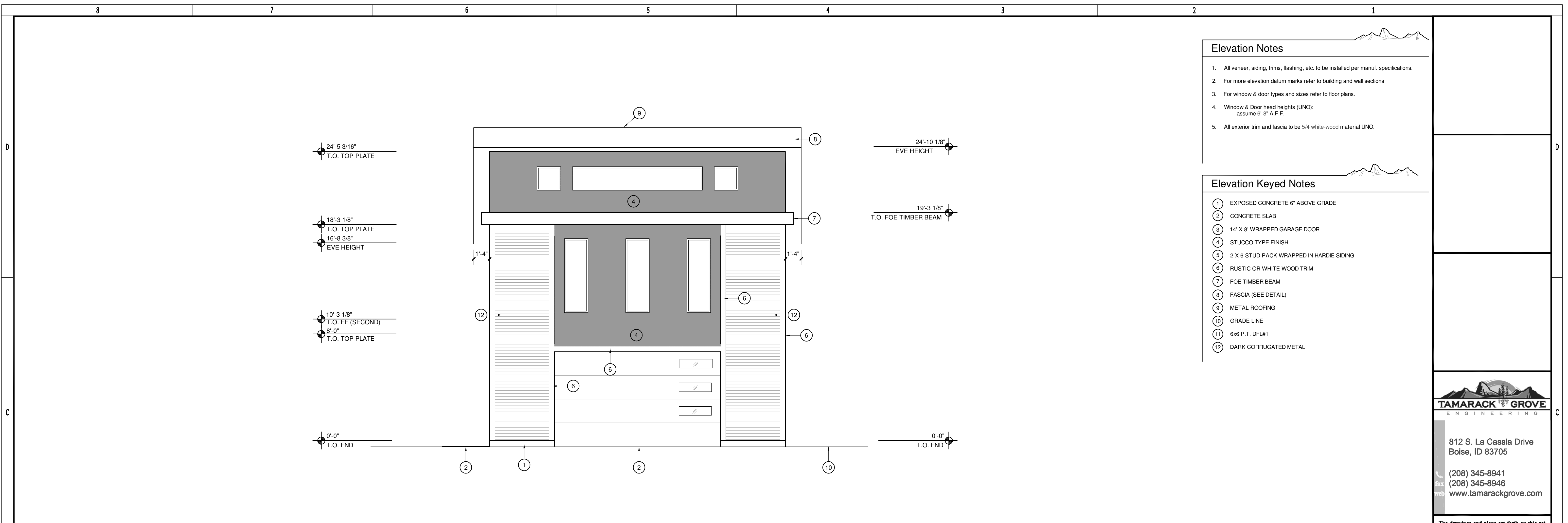
McCall, ID

sheet title:

### A1.1 Proposed Floor Plan

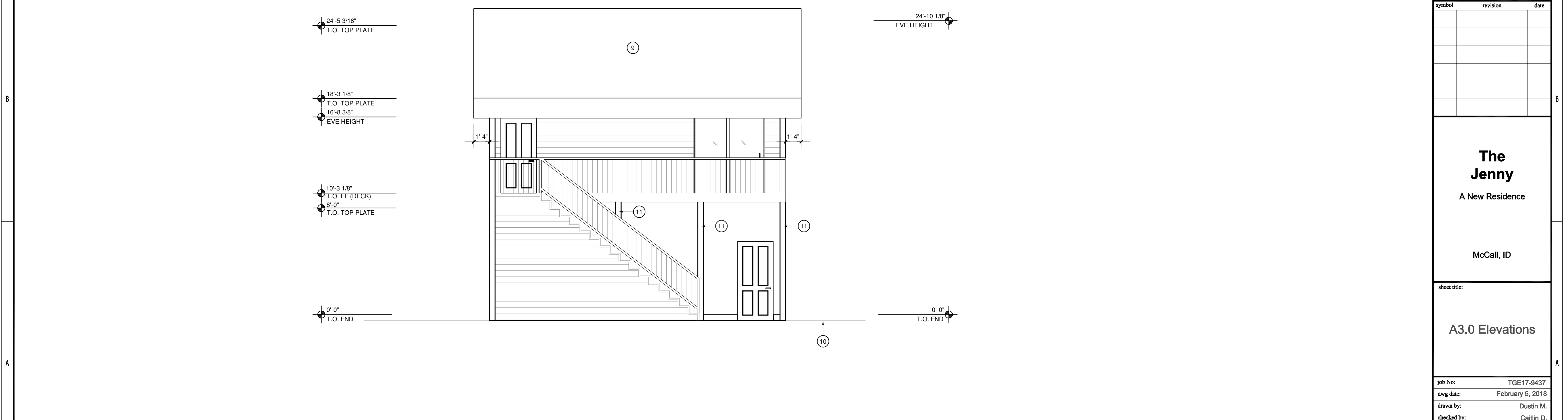
Job No: TGE17-9437  
dwg date: February 5, 2018  
drawn by: Dustin M.  
checked by: Caitlin D.





Front Elevation

SCALE: 1/4" = 1'-0"



Rear Elevation

SCALE: 1/4" = 1'-0"

- Elevation Notes**
- All veneer, siding, trims, flashing, etc. to be installed per manuf. specifications.
  - For more elevation datum marks refer to building and wall sections
  - For window & door types and sizes refer to floor plans.
  - Window & Door head heights (UNO):  
- assume 5'-0" A.F.F.
  - All exterior trim and fascia to be 5/4 white wood material UNO.

- Elevation Keyed Notes**
- EXPOSED CONCRETE 6" ABOVE GRADE
  - CONCRETE SLAB
  - 14' X 8' WRAPPED GARAGE DOOR
  - STUCCO TYPE FINISH
  - 2 X 6 STUD PACK WRAPPED IN HARDIE SIDING
  - RUSTIC OR WHITE WOOD TRIM
  - FOE TIMBER BEAM
  - FASCIA (SEE DETAIL)
  - METAL ROOFING
  - GRADE LINE
  - 6x6 P.T. DFL#1
  - DARK CORRUGATED METAL

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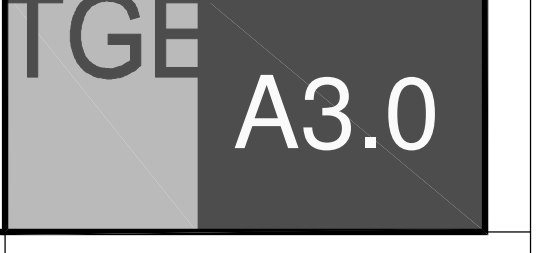
symbol	revision	date

**The Jenny**  
A New Residence

McCall, ID

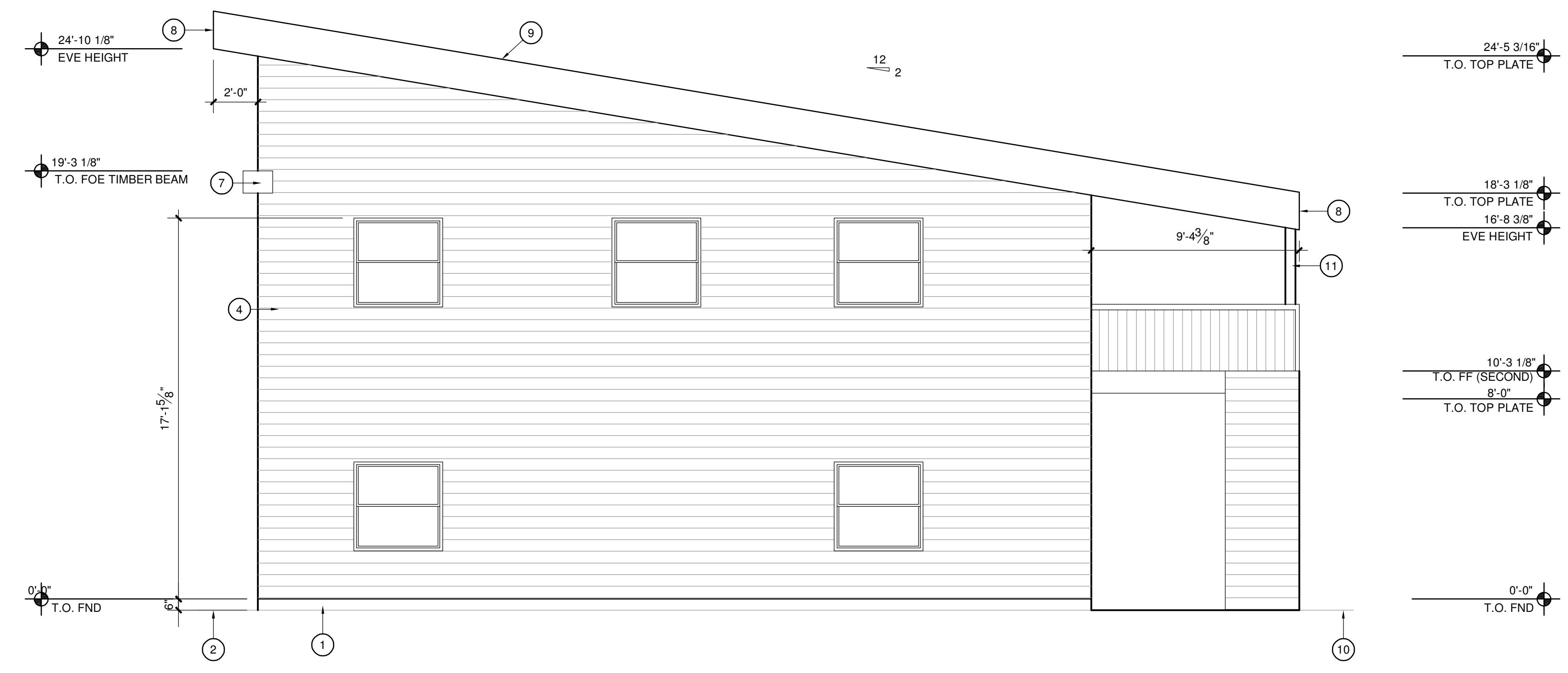
sheet title:  
**A3.0 Elevations**

job No: TGE17-9437  
dwg date: February 5, 2018  
drawn by: Dustin M.  
checked by: Caitlin D.

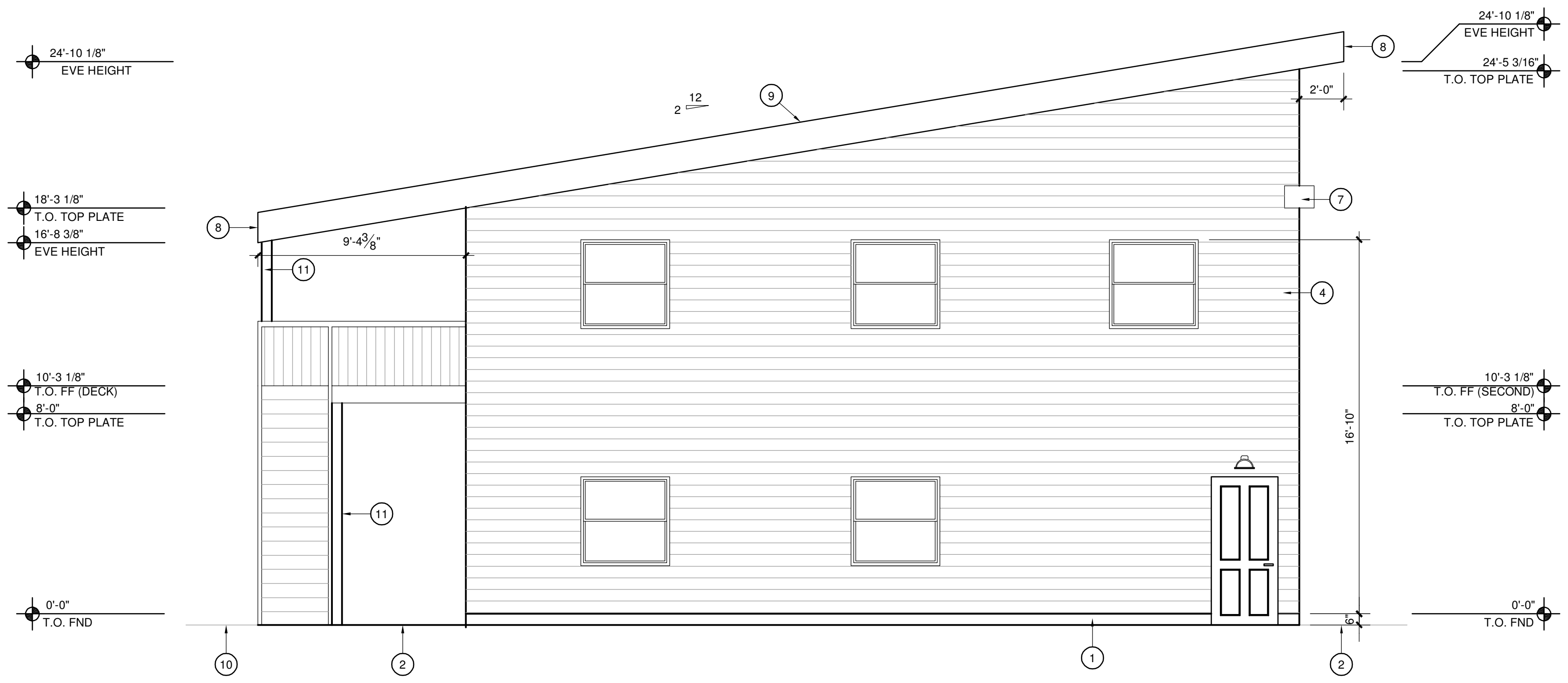


- ### Elevation Notes
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  - LIGHT COLORED VINYL SIDING
  - 2 X 6 STUD PACK WRAPPED IN HARDIE SIDING
  - RUSTIC OR WHITE WOOD TRIM
  - FOE TIMBER BEAM
  - FASCIA (SEE DETAIL)
  - METAL ROOFING
  - GRADE LINE
  - 6x6 P.T. DFL#1



**Right Elevation**  
SCALE: 1/4" = 1'-0"



**Left Elevation**  
SCALE: 1/4" = 1'-0"

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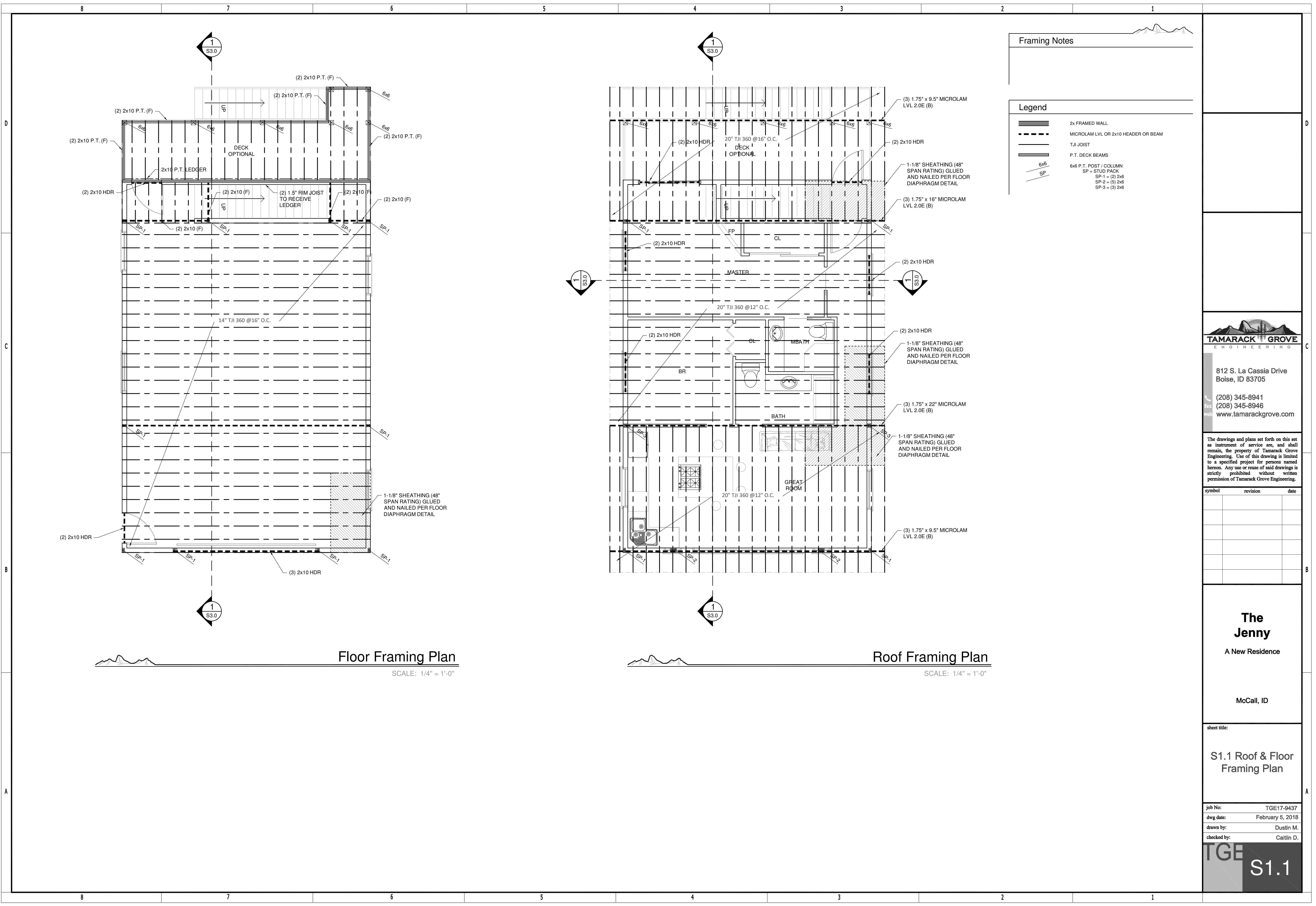
**The Jenny**  
A New Residence

McCall, ID

sheet title:  
**A3.1 Elevations**

Job No: TGE17-9437  
dwg date: February 5, 2018  
drawn by: Dustin M.  
checked by: Caitlin D.

**TGE**  
**A3.1**



**Framing Notes**

**Legend**

- 2x FRAMED WALL
- MICROLAM LVL OR 2x10 HEADER OR BEAM
- TJI JOIST
- P.T. DECK BEAMS
- 6x6 P.T. POST / COLUMN
- SP = STUD PACK
- SP-1 = (2) 2x6
- SP-2 = (5) 2x6
- SP-3 = (3) 2x6

**Floor Framing Plan**

SCALE: 1/4" = 1'-0"

**Roof Framing Plan**

SCALE: 1/4" = 1'-0"

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A New Residence

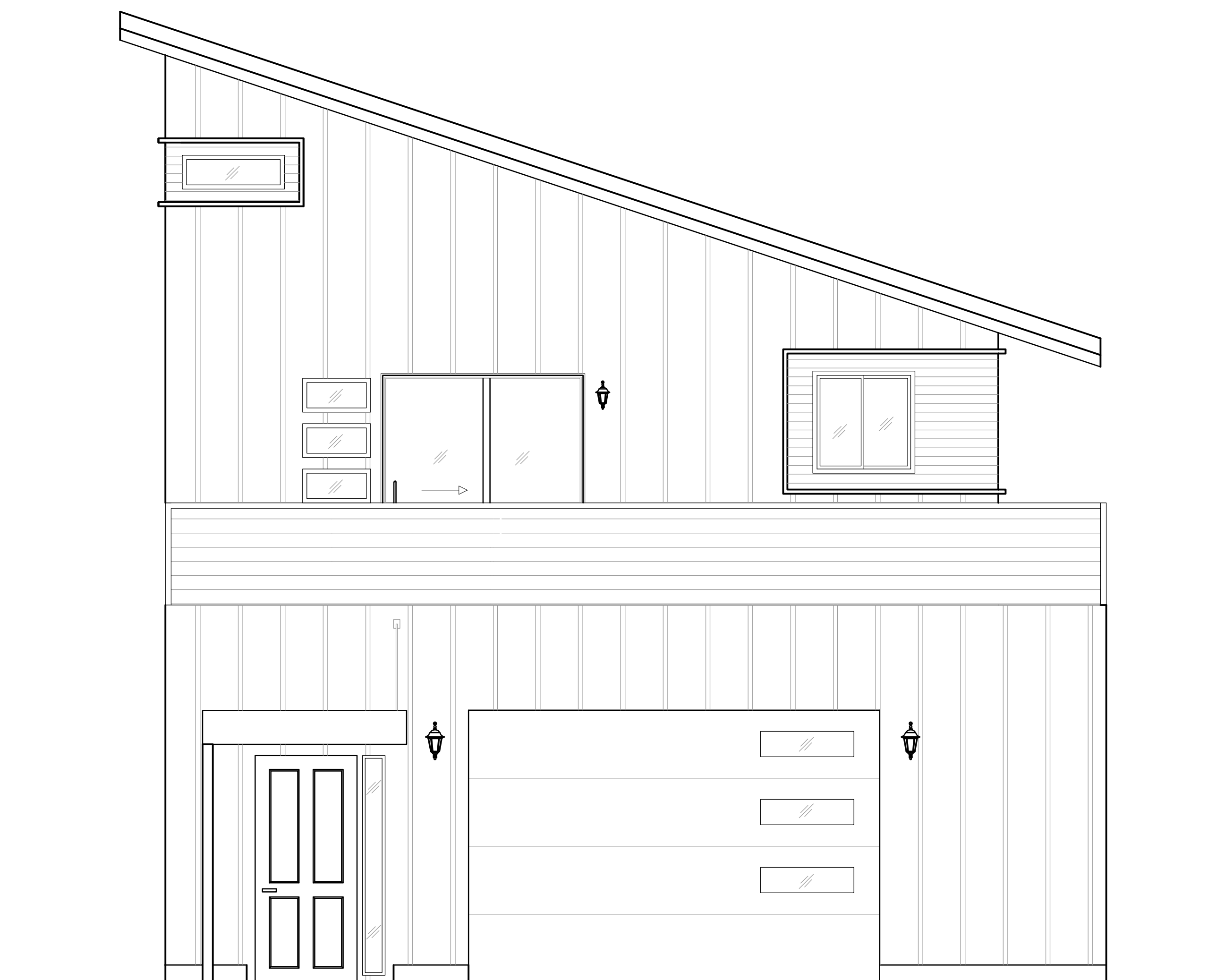
McCall, ID

sheet title:  
**S1.1 Roof & Floor Framing Plan**

job No: TGE17-9437  
dwg date: February 5, 2018  
drawn by: Dustin M.  
checked by: Caitlin D.







Client	Structural
Contact: A&Z Development Attn: Alex Lytle Address: 769 Meaghan Pl. Boise, ID 83712 PH: 208.794.9727	Tamarack Grove Engineering Contact: Brian J. Sielaff 812 S. La Cassia Drive Boise, ID 83705 PH: (208) 345-8941

**Sheet Schedule**

<b>GENERAL</b>
A0.0 COVER SHEET / GENERAL NOTES A1.0 SITE PLAN (Site TBD)
<b>ARCHITECTURAL</b>
A1.1 FLOOR PLAN A3.0 ELEVATIONS A3.1 ELEVATIONS A4.0 BUILDING SECTION
<b>STRUCTURAL</b>
S1.0 FOUNDATION PLAN S1.1 FLOOR FRAMING PLAN S1.2 ROOF FRAMING PLAN S4.0 FOUNDATION DETAILS S5.1 FRAMING DETAILS

**Building Scope & Project Narrative**

New Single Family House over Garage. Approx. 700 Sq Ft Living, Approx 700 Sq Ft garage. Conventional framed walls.

**PROJECT ADDRESS**  
TBD

**PARCEL:**  
**YEAR:**  
**ZONE CODE:**  
**TOTAL ACRES:**



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# The Xavier

## A&Z Development

75% Architectural Set  
February 5, 2018

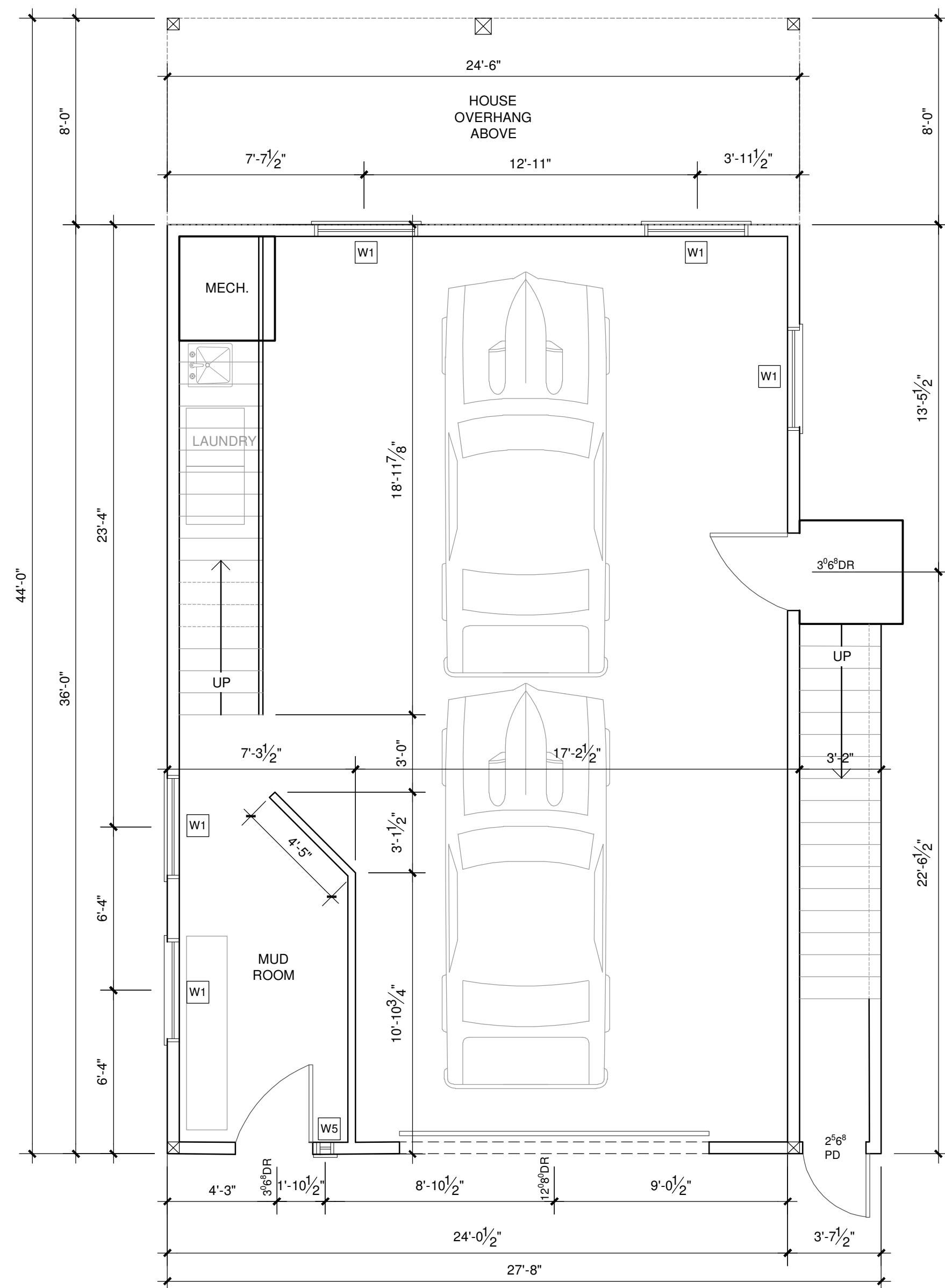
**Xavier Residence**  
A New Residence

McCall, ID

sheet title:  
**A0.0 Cover Sheet**

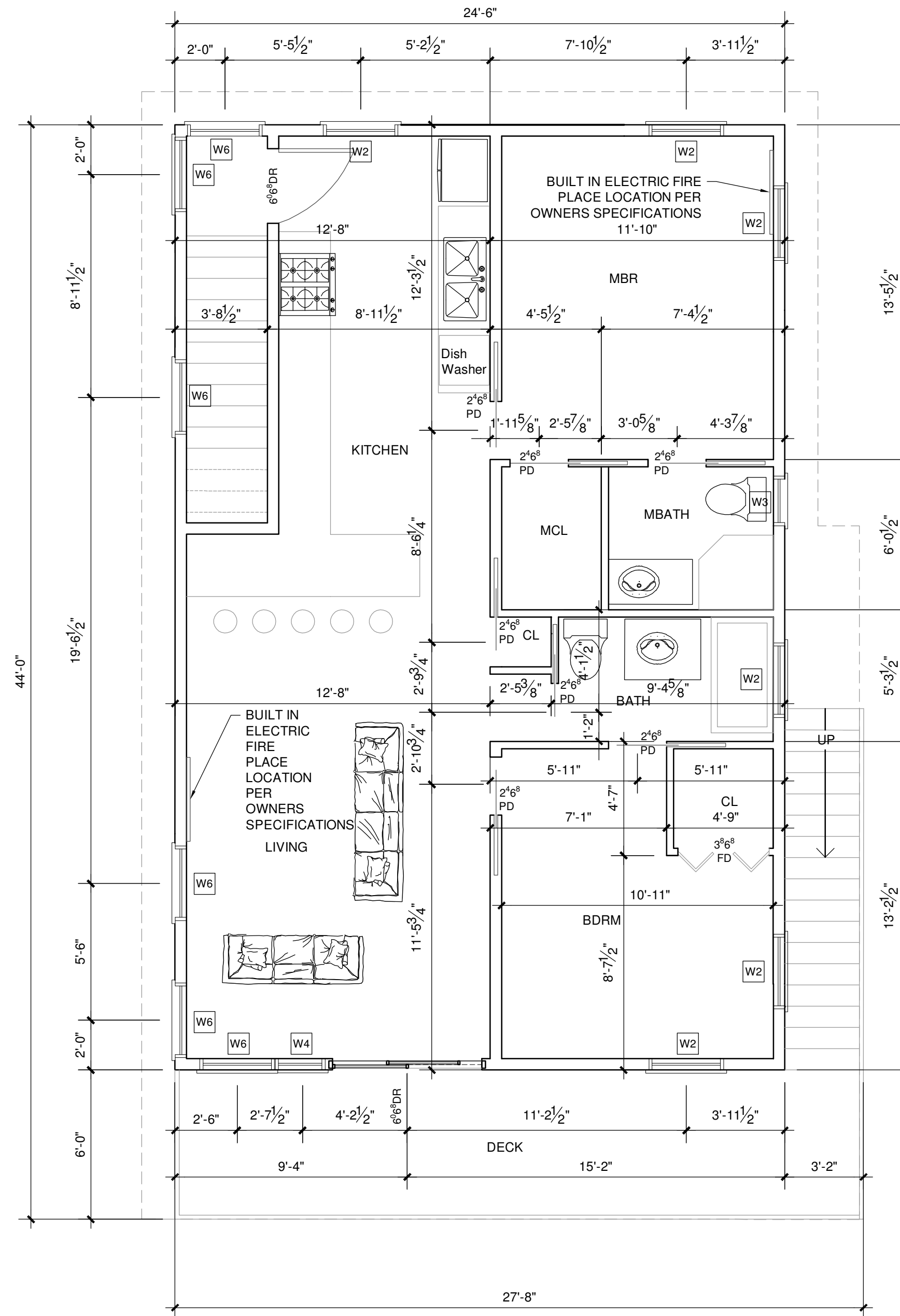
job No:	TGE17-9439
dwg date:	February 5, 2018
drawn by:	Dustin M.
checked by:	Caitlin D.





Garage First Floor Plan

SCALE: 1/4" = 1'-0"



House Second Floor Plan

SCALE: 1/4" = 1'-0"

Framing Notes

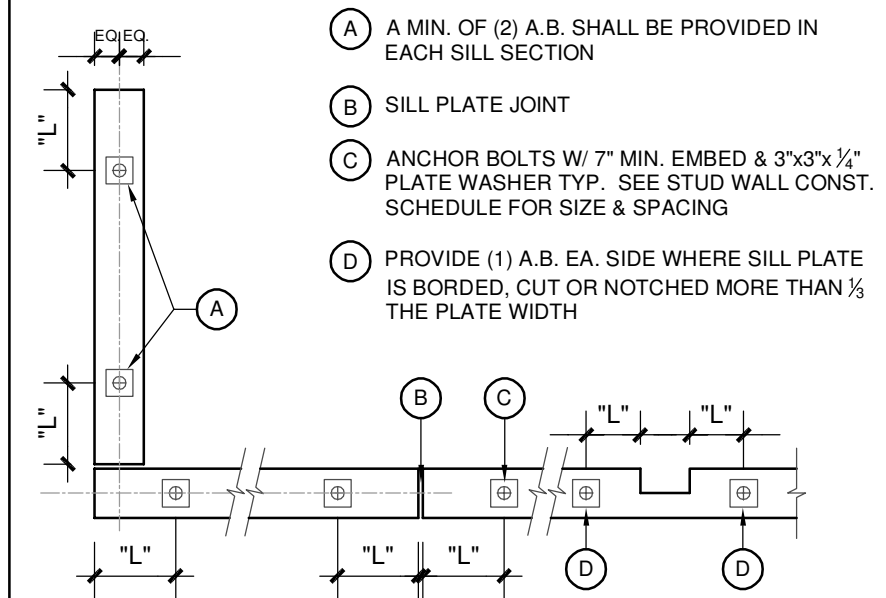
- For common framing details and connections refer to sheet S5.0
- 

Legend

- CONVENTIONAL FRAMED 2X WALL
- POST / COLUMN  
SP = STUD PACK
- ROOF OUTLINE

Sill Plate Anchorage

- Sill plate shall be preservative pressure treated.
- Holes in sill plate shall be a min. of 1/32" to a max of 1/16" larger than the bolt dia.
- Holes shall be treated with a 20% solution of copper naphthenate.
- "L" = 6" min. & 12" max.



812 S. La Cassia Drive  
Boise, ID 83705

(208) 345-8941  
(208) 345-8946  
www.tamarackgrove.com

The drawings and plans set forth on this set as instrument of service are, and shall remain, the property of Tamarack Grove Engineering. Use of this drawing is limited to a specified project for persons named hereon. Any use or reuse of said drawings is strictly prohibited without written permission of Tamarack Grove Engineering.

symbol	revision	date

**Xavier Residence**  
A New Residence

McCall, ID

sheet title:

A1.1 Floor Plan

Job No: TGE17-9439  
dwg date: February 5, 2018  
drawn by: Dustin M.  
checked by: Caitlin D.

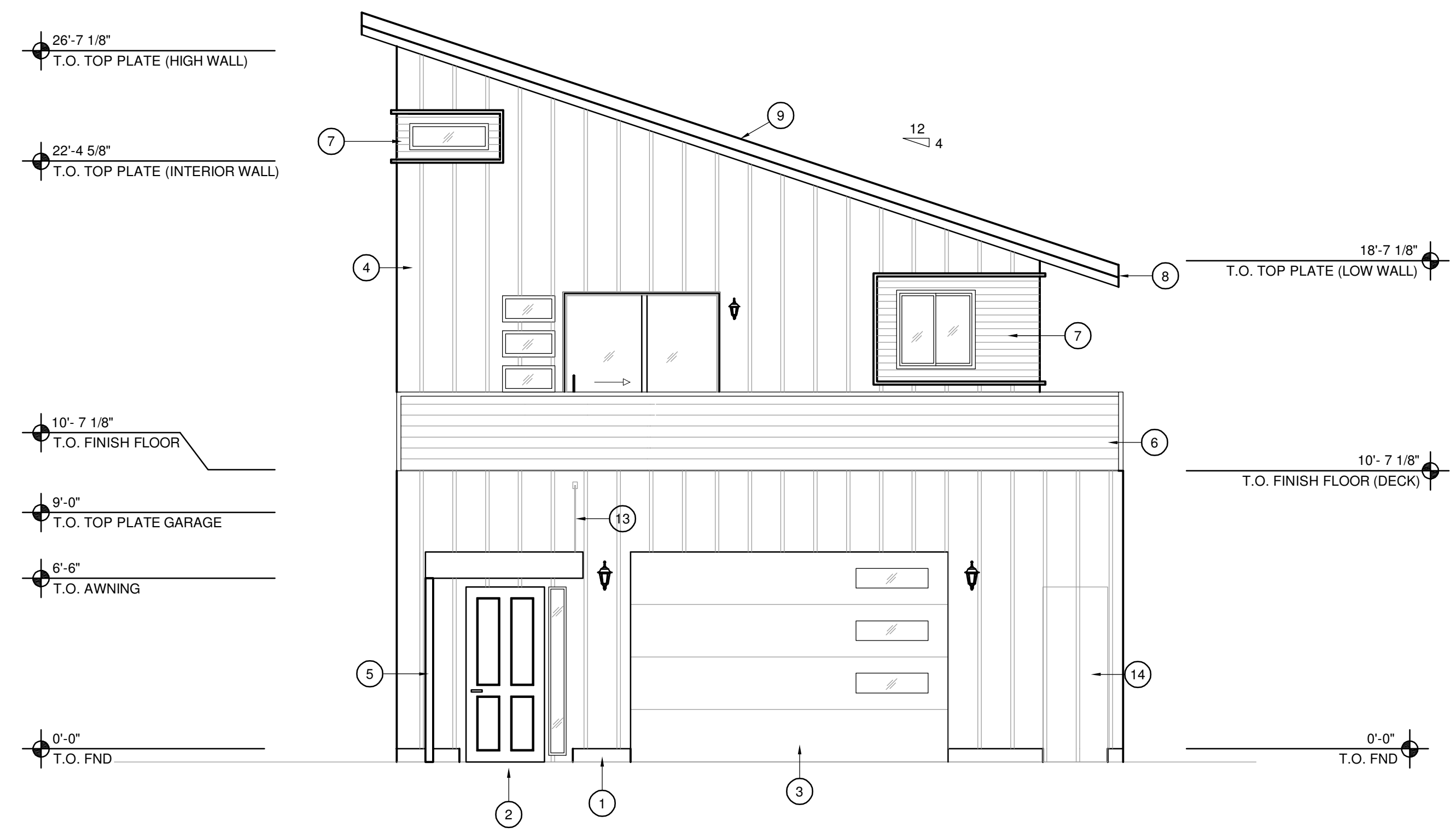


WINDOW SCHEDULE		(NEW WINDOWS ONLY)				Rating		Remarks	
Mark	Qty	Nominal Size		Type	Frame Mat.	Fin.	U-Fact.		Solar
		Width ft/in	Height ft/in						
W1	5	4 0	4 0	SH	VINYL	FACT	0.28	Frosted	
W2	6	3 0	3 0	SH					
W3	1	2 0	2 0	SLDR					
W4	3	2 0	1 0	FXD					
W5	1	0 8	6 5	FXD					
W6	6	3 0	1 0	FXD					

\*NOTE:  
Maximum U-factor of 0.28 for all vertical fenestration.

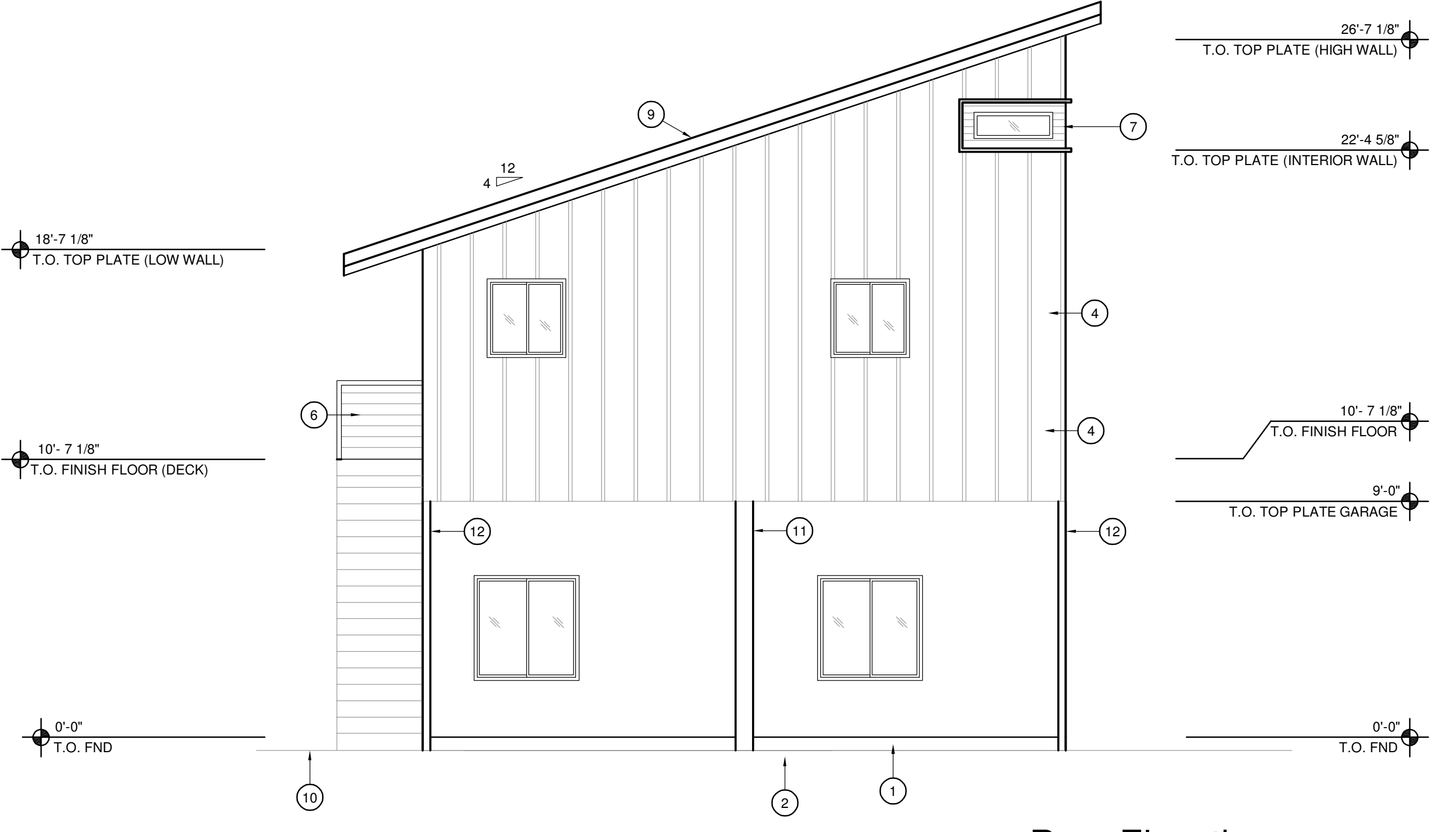
S.G. - Denotes Safety Glazing. See plan for locations

E.E. - Emergency Egress. See plan for locations. All bedroom windows shall have an operable panel at least 5.7 s.f., sill heights set at 44" A.F.F. min.



**Front Elevation**

SCALE: 1/4" = 1'-0"



**Rear Elevation**

SCALE: 1/4" = 1'-0"

- Elevation Notes**
- All veneer, siding, trims, flashing, etc. to be installed per manuf. specifications.
  - For more elevation datum marks refer to building and wall sections
  - For window & door types and sizes refer to floor plans.
  - Window & Door head heights (UNO):  
- assume 5'-0" A.F.F.
  - All exterior trim and fascia to be 5/4 white-wood material UNO.

- Elevation Keyed Notes**
- EXPOSED CONCRETE 6" ABOVE GRADE
  - CONCRETE PORCH SLAB
  - 12' X 8' GARAGE DOOR
  - VERTICAL BOARD AND BATTEN SIDING
  - 4 X 4 TIMBER POST
  - 36" TALL DECK RAILING DARK TRIM ENCLOSING NATURAL COLORED T&G SIDING
  - HORIZONTAL CORRUGATED METAL SIDING INSIDE 2X HORIZ. FRAME
  - FASCIA (SEE DETAIL)
  - RIB STEEL ROOF
  - GRADE LINE
  - 8"x8" POST
  - 6"x6" POST
  - CABLE AWNING SUPPORT
  - HIDDEN DOOR TO STORAGE UNDER STAIRS

**TAMARACK GROVE**  
ENGINEERING

812 S. La Cassia Drive  
Boise, ID 83705

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fax (208) 345-8946  
web: www.tamarackgrove.com

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symbol	revision	date

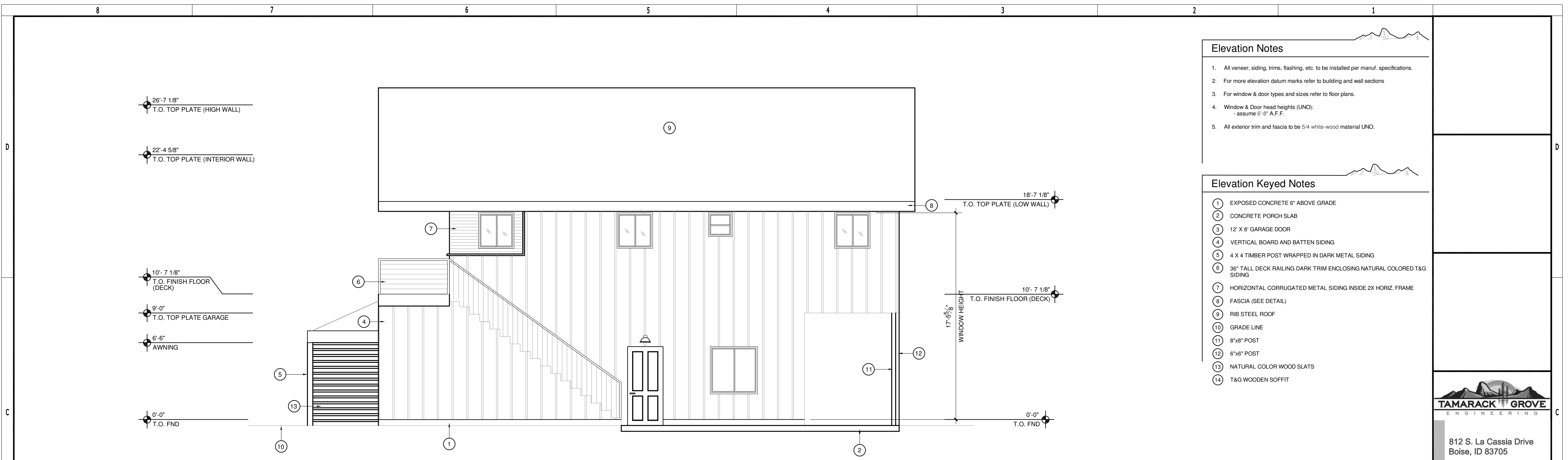
**Xavier Residence**  
A New Residence

McCall, ID

sheet title:  
**A3.0 Elevations**

job No: TGE17-9439  
dwg date: February 5, 2018  
drawn by: Dustin M.  
checked by: Caitlin D.

**TGE**  
**A3.0**



**Right Elevation**

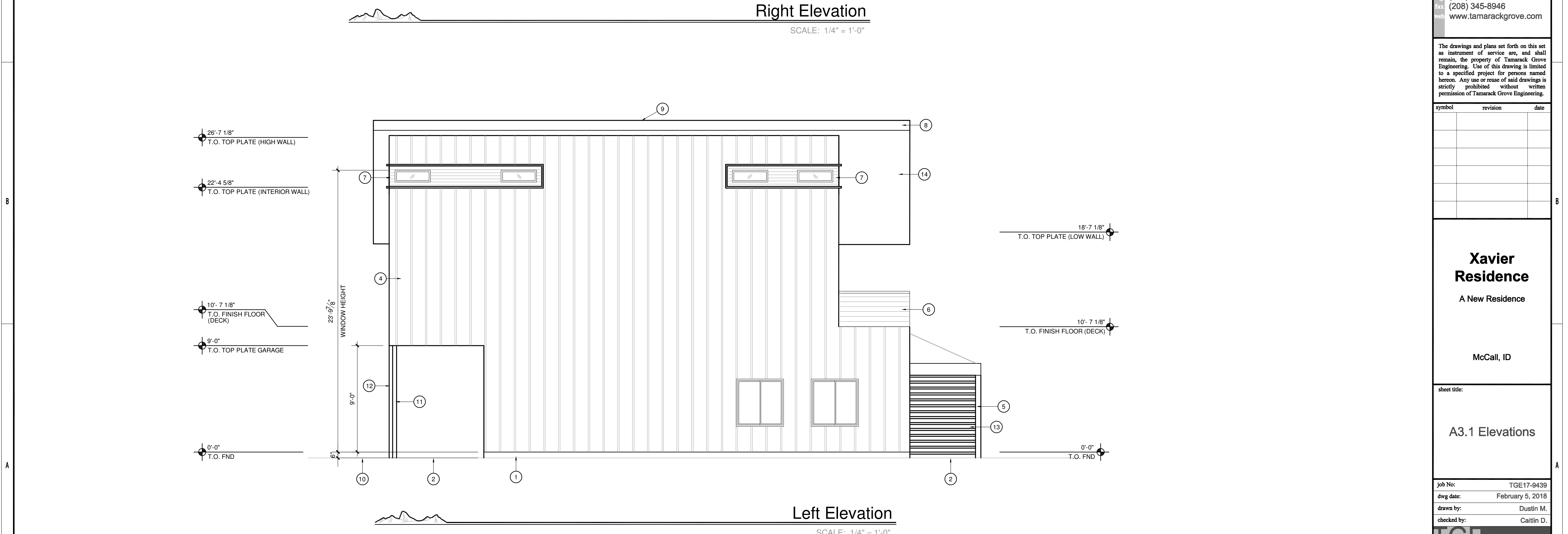
SCALE: 1/4" = 1'-0"

**Elevation Notes**

1. All veneer, siding, trims, flashing, etc. to be installed per manuf. specifications.
2. For more elevation datum marks refer to building and wall sections
3. For window & door types and sizes refer to floor plans.
4. Window & Door head heights (UNO):  
- assume 5'-0" A.F.F.
5. All exterior trim and fascia to be 5/4 white-wood material UNO.

**Elevation Keyed Notes**

- 1 EXPOSED CONCRETE 6" ABOVE GRADE
- 2 CONCRETE PORCH SLAB
- 3 12' X 8' GARAGE DOOR
- 4 VERTICAL BOARD AND BATTEN SIDING
- 5 4 X 4 TIMBER POST WRAPPED IN DARK METAL SIDING
- 6 36" TALL DECK RAILING DARK TRIM ENCLOSING NATURAL COLORED T&G SIDING
- 7 HORIZONTAL CORRUGATED METAL SIDING INSIDE 2X HORIZ. FRAME
- 8 FASCIA (SEE DETAIL)
- 9 RIB STEEL ROOF
- 10 GRADE LINE
- 11 8"x8" POST
- 12 6"x6" POST
- 13 NATURAL COLOR WOOD SLATS
- 14 T&G WOODEN SOFFIT



**Left Elevation**

SCALE: 1/4" = 1'-0"

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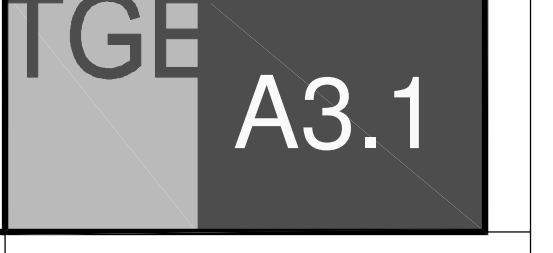
symbol	revision	date

**Xavier Residence**  
A New Residence

McCall, ID

sheet title:  
**A3.1 Elevations**

job No: TGE17-9439  
dwg date: February 5, 2018  
drawn by: Dustin M.  
checked by: Caitlin D.



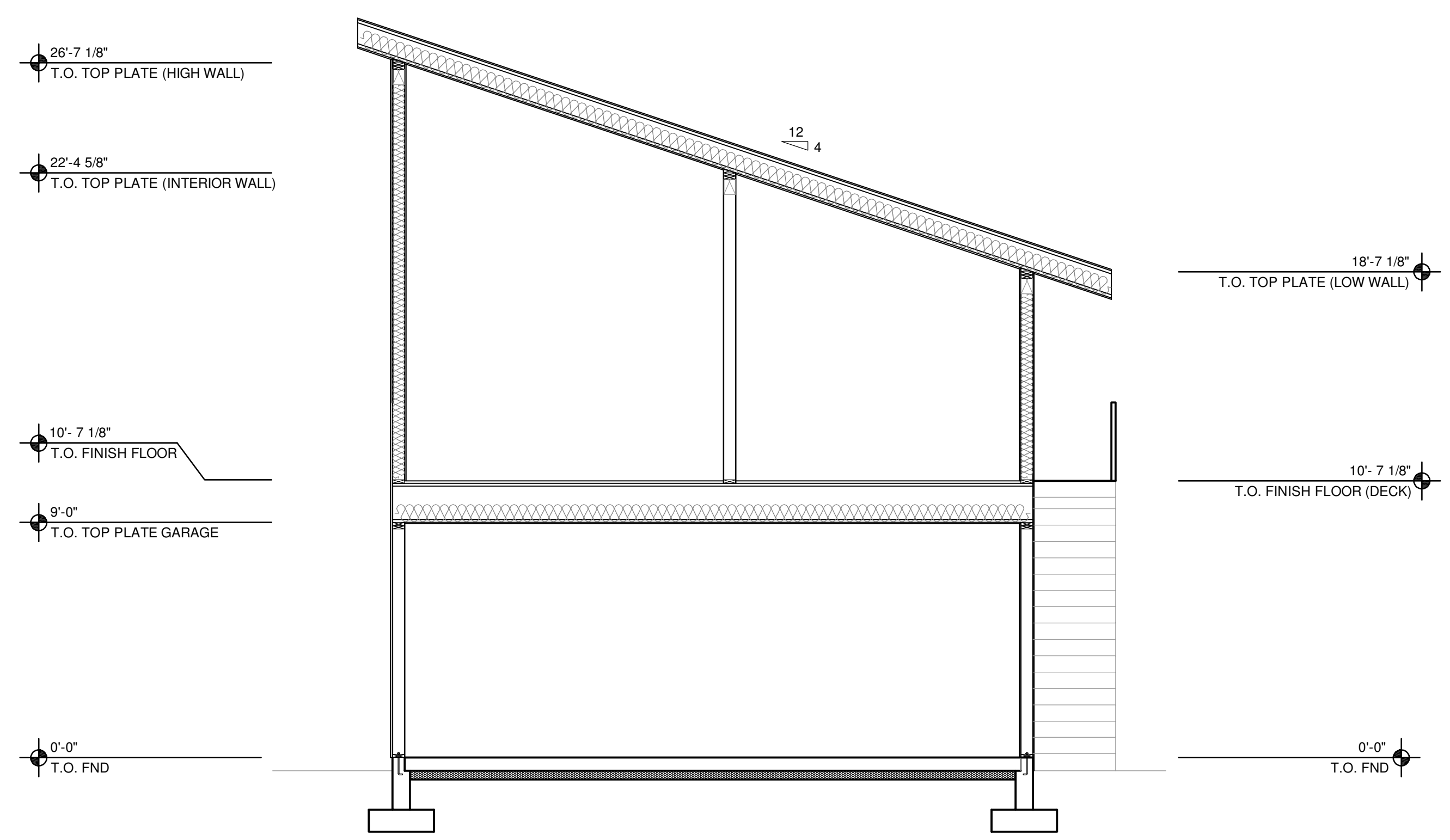
— EXISTING  
STRUCTURE

### Section Keyed Notes

- REFER TO STRUCTURAL SHEETS FOR DETAILS AND CONNECTIONS
- (60) BEAM / HEADER PER FRAMING PLANS
  - (61) SLAB ON GRADE ASSEMBLY:  
4" SLAB ON GRADE W/ 6x6x10ga WWR AT MID-DEPTH O/  
6" MIL VAPOR BARRIER O/  
2" RIGID INSULATION O/  
4" COMPACTED CRUSHED ROCK BASE O/  
UNDISTURBED NATIVE SUB-GRADE
  - (62) CONCRETE STEM WALL OVER FOOTING - SEE FOUNDATION PLAN
  - (63) HOUSE ROOF ASSEMBLY:  
METAL ROOFING  
15# ROOFING FELT  
14" DEEP PARALLEL CHORD TRUSSES  
1/2" GYPSUM BOARD CEILING  
T & G CEDAR SOFFIT
  - (64) GARAGE ROOF ASSEMBLY:  
METAL ROOFING  
15# ROOFING FELT  
14" TJI RAFTERS  
T & G CEDAR SOFFIT

### Wall Schedule

	(SND) - R-19 SOUND INSULATION (OSB) - OSB SHTG ONE SIDE, PER STRUCT. SHEET
NEW	



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## Xavier Residence

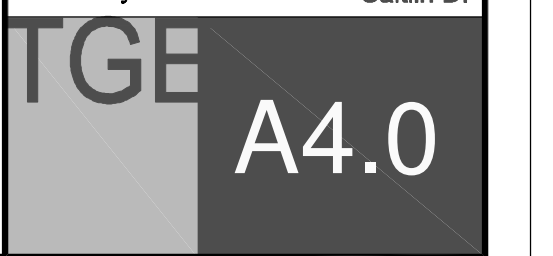
A New Residence

McCall, ID

sheet title:

### A4.0 Building Section

job No:	TGE17-9439
dwg date:	February 2, 2018
drawn by:	Dustin M.
checked by:	Caitlin D.



### Building Section

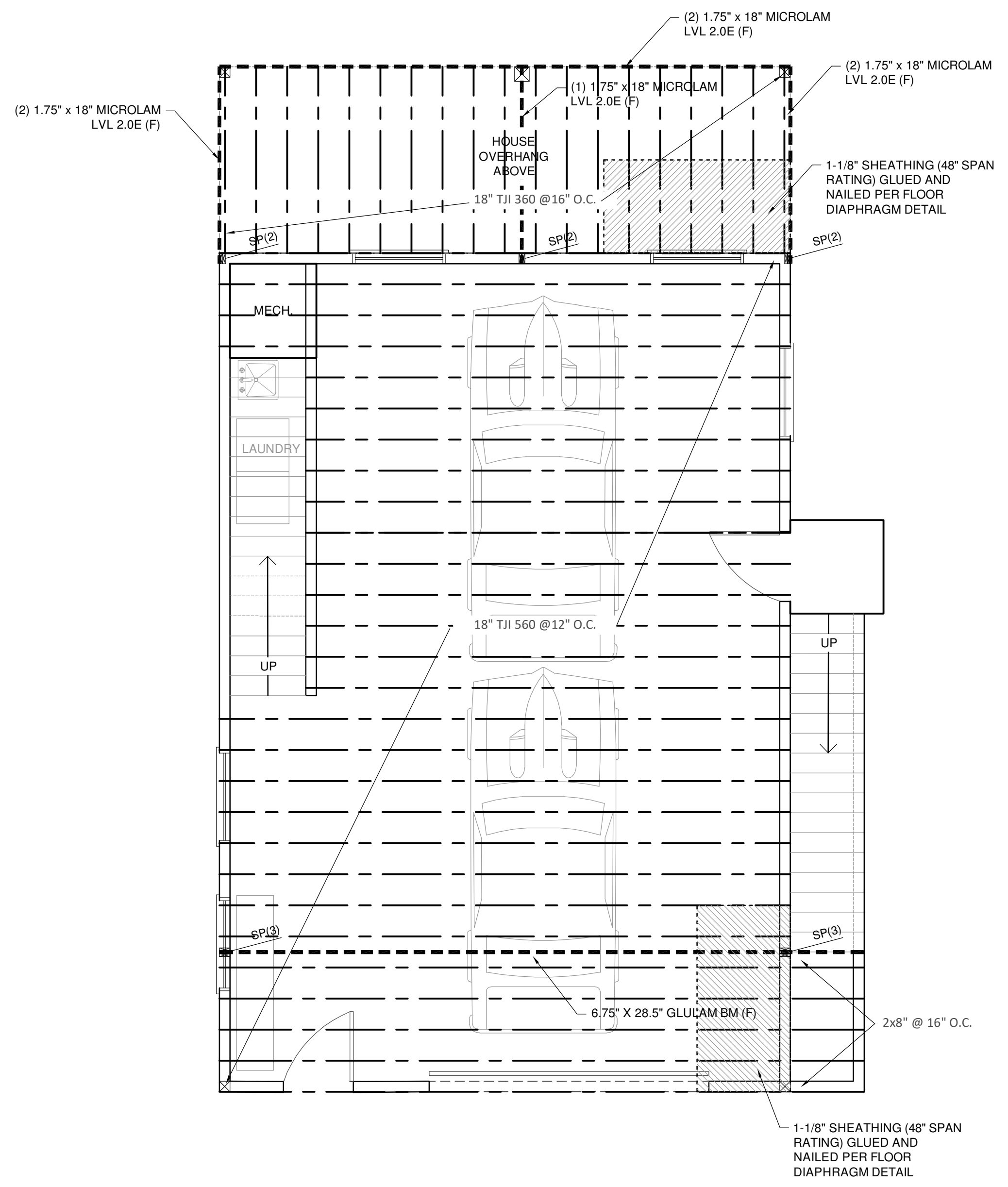
SCALE: 1/4" = 1'-0"



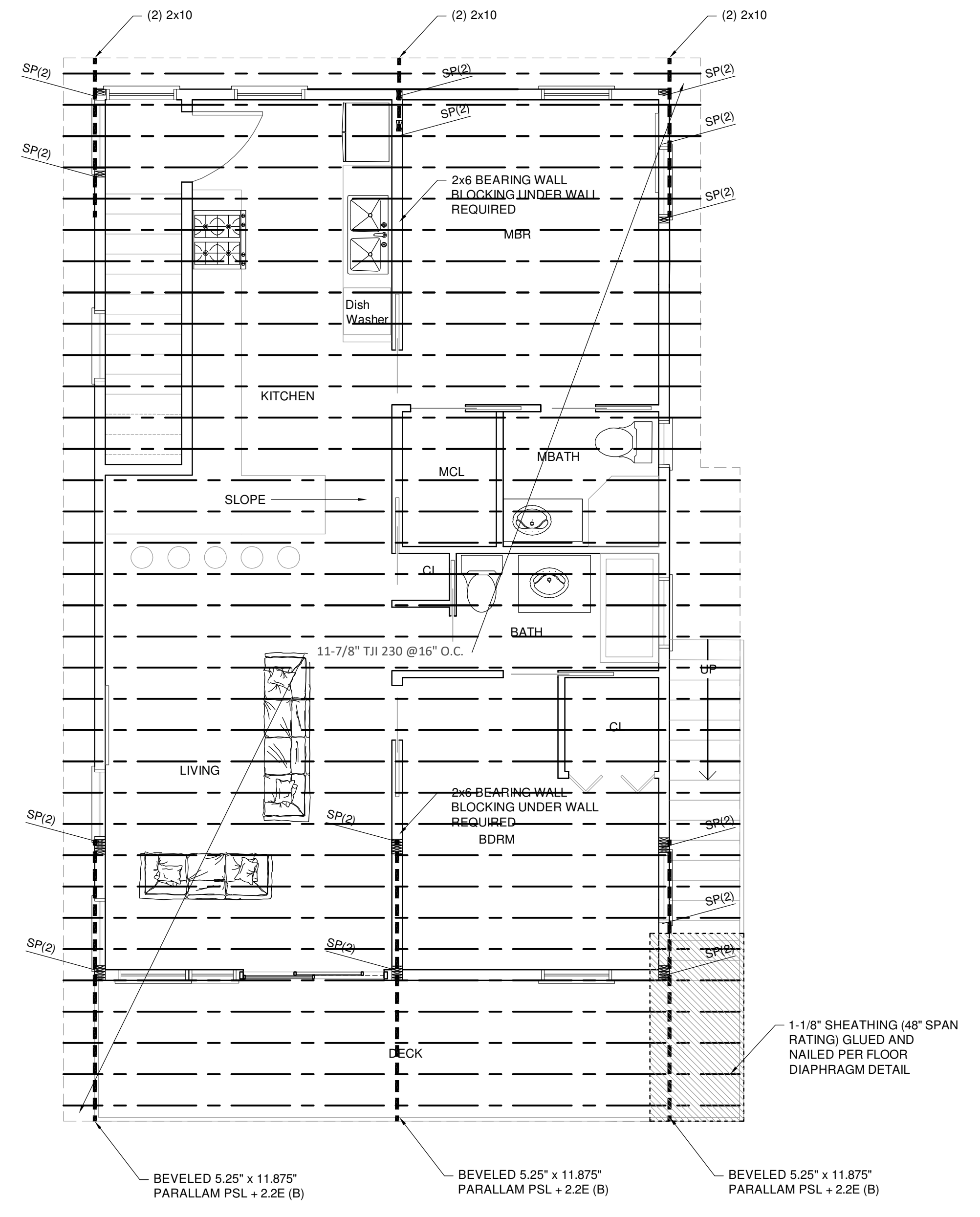


8 7 6 5 4 3 2 1

D  
C  
B  
A



**Floor Framing Plan**  
SCALE: 1/4" = 1'-0"



**Roof Framing Plan**  
SCALE: 1/4" = 1'-0"

- Framing Notes**
- 
- Legend**
- 2x FRAMED WALL
  - MICROLAM LVL OR 2x10 HEADER OR BEAM
  - TJI JOIST
  - 6x6 P.T. POST / COLUMN
  - SP = STUD PACK
    - SP-1 = (5) 2x6
    - SP-2 = (2) 2x6
    - SP-3 = (3) 1.75"x5.5" LVL 2.0E
    - SP-4 = 6x6 P.T. DFL#1
    - SP-5 = 6x6 P.T. DFL#1

- Sill Plate Anchorage**
1. Sill plate shall be preservative pressure treated.
  2. Holes in sill plate shall be a min. of 1/32" to a max of 1/16" larger than the bolt dia.
  3. Holes shall be treated with a 20% solution of copper naphthenate.
  4. "L" = 6" min. & 12" max.
- 

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**Xavier Residence**  
A New Residence

McCall, ID

sheet title:  
**S1.1 Roof and Floor Framing Plan**

job No: TGE17-9439  
dwg date: February 2, 2018  
drawn by: Dustin M.  
checked by: Caitlin D.



8 7 6 5 4 3 2 1



**McCall Area Planning and Zoning Commission  
Staff Report**

**ROS-18-05**

*324 W. Lake St.  
Harper Lot Line Adjustment*

February 6, 2018

Applicant: Gabriela Harper and Jan Conttrel  
Agent: Droulard Surveying  
Application: Lot Line Adjustment  
Zoning: R4 – Low Density Residential

---

**Description**

A Record of Survey to adjust the property line between two parcels. The Record of Survey reduces 324 W. Lake St. parcel from 33,150 sq. ft. to 31,243 sq. ft. and increases the 333 Forest St. parcel from 6,352 sq. ft. to 8,259 sq. ft.

**Code Narrative**

This application was placed on the McCall Area Planning and Zoning Commission’s consent agenda, thereby waiving public noticing requirements, pursuant to McCall City Code section 9.1.05.B.2.

Pursuant to McCall City Code (MCC 9.1.05), lot line adjustments are permitted through the Record of Survey process.

**Comments**

*Agency –*

Idaho Transportation Department (ITD)

In a letter dated December 12, 2017, ITD stated that they had no objections to the record of survey.

County Surveyor

In a letter dated December 15, 2017, the County Surveyor recommended approval of the application.

Payette Lakes Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the January 9<sup>th</sup>, 2018 McCall Area Planning and Zoning Commission meeting date. In an email dated December 14, 2017, PLRWSD state that they had no comments on the application.

McCall City Engineer

In an email dated December 26, 2017, the City Engineer stated the following:

1. The tie to City of McCall control point “Crystal Beach” was found to be off significantly in the digital files submitted. It appears this will require modification to the bearing and/or distance label provided on the ROS document. Please review and revise as necessary on the ROS and digital files
2. Please consider adding a legend for the hatched area (1,907 s.f.), and/or labeling the vacated lot line, to more clearly define the enlarged lot where the existing home is located.
3. Please revise and resubmit the required digital files (MMG and SPG versions) in accordance with the City’s digital data submission standards (DDSS) for review and approval prior to preparation of the final ROS document (mylar) for signature.

*Public* – No public comments have been received to date.

### **Conditions of Approval**

1. Prior to recordation, the applicant shall submit digital files of the Record of Survey in accordance with the McCall Digital Data Submission Standards.
2. Prior to recordation, the applicant shall receive final engineering approval.
3. The applicant shall provide the City with a .PDF copy of the recorded survey immediately upon recordation.
4. To complete the Record of Survey, the applicant shall file the appropriate forms with the Valley County Assessor’s office.
5. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.

IN RE: )  
)  
Harper Lot Line Adjustment ) **McCALL AREA PLANNING AND ZONING COMMISSION**  
Record of Survey ) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**  
) **DECISION**  
)  
)  
Application Number: )  
ROS-18-05 )

**FINDINGS OF FACTS**

**Applicant:** Gabriela Harper & Jan Cottrell

**Representative(s):** Droulard Surveying

**Application:** A Record of Survey to adjust the property line between two parcels to add 1907 sq. ft. to the Cottrell property.

**Location:** Tax Parcels 48D and 265, Lot 10, Block E, Brundage Subdivision, Section 8, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

**Property Address:** 324 W. Lake St. and 333 W. Forest St.

**Public Notices:** This application was placed on the McCall Area Planning and Zoning Commission’s consent agenda, thereby waiving public noticing requirements. This was done pursuant to McCall City Code section 9.1.05.B.2, which states that the administrator may waive the application of some provisions.

**Zoning:** R4 – Low Density Residential

**Property Size:** The Record of Survey reduces Tax Parcel 48D from 33,150 sq. ft. to 31,243 sq. ft. and increases Tax Parcel 265 from 6,352 sq. ft. to 8,259 sq. ft.

**Setbacks:** The proposed lot line adjustment will not negatively impact any setbacks. There is an existing residential structure located at 333 Forest St. that appears to encroach on the 20 ft. setback from Forest St., is situate 20 ft. from the westerly property line adjacent to Mather Rd., 14.2 ft. from the easterly side property



line, and more than 10 ft. from the northerly lot line to be adjusted. An existing commercial structure is located 324 W. Lake St., which is situated more than 100 ft. from the proposed lot line adjustment and will have no change to its setbacks.

## **APPROVAL STANDARDS**

### **Title 9, Chapter 1**

#### **Record of Survey**

**To be eligible for processing under the Record of Survey Procedure, an application for approval of a plat or survey must be signed by all owners and determined by the administrator to meet one or more of the standards set out below:**

- 1. A lot line adjustment between two (2) or more existing adjacent parcels, provided:**
  - (1) No additional parcels or building sites have been created, and**
  - (2) The adjustment does not create the potential to further divide either of the two (2) parcels into more parcels than would have been otherwise possible, and**
  - (3) There are no resulting violations of this title or title III of this code.** No additional parcels or building sites have been created, the adjustment does not create the potential to further divide any parcel. Tax Parcel 265 does not meet the dimensional standards of the zone, however, the lot line adjustment will make is less non-conforming than it currently exists.

## **DEPARTMENT/AGENCY COMMENTS**

### **Idaho Transportation Department (ITD)**

In a letter dated December 12, 2017, ITD stated that they had no objections to the record of survey.

### **County Surveyor**

In a letter dated December 15, 2017, the County Surveyor recommended approval of the application.

### **Payette Lakes Recreational Water and Sewer District (PLRWSD)**

The application was distributed to the PLRWSD more than thirty (30) prior to the January 9<sup>th</sup>, 2018 McCall Area Planning and Zoning Commission meeting date. In an email dated December 14, 2017, PLRWSD state that they had no comments on the application.

McCall City Engineer

In an email dated December 26, 2017, the City Engineer stated the following:

1. The tie to City of McCall control point “Crystal Beach” was found to be off significantly in the digital files submitted. It appears this will require modification to the bearing and/or distance label provided on the ROS document. Please review and revise as necessary on the ROS and digital files
2. Please consider adding a legend for the hatched area (1,907 s.f.), and/or labeling the vacated lot line, to more clearly define the enlarged lot where the existing home is located.
3. Please revise and resubmit the required digital files (MMG and SPG versions) in accordance with the City’s digital data submission standards (DDSS) for review and approval prior to preparation of the final ROS document (mylar) for signature.

**CONCLUSIONS OF LAW**

1. The City of McCall has provided for the processing of Record of Survey applications, pursuant to Title 9, Chapter 1 of McCall City Code.
2. The proposed project is eligible for the Record of Survey process as a lot line adjustment.
3. Upon compliance with the conditions noted below, the application meets the Record of Survey Procedure requirements set forth in Title 9, Chapter 1 of McCall City Code.

**DECISION**

**THEREFORE**, the McCall Area Planning and Zoning Commission hereby **approves** this Record of Survey application, provided that the following conditions are met:

1. Prior to recordation, the applicant shall submit digital files of the Record of Survey in accordance with the McCall Digital Data Submission Standards.
2. Prior to recordation, the applicant shall receive final engineering approval.
3. The applicant shall provide the City with a .PDF copy of the recorded survey immediately upon recordation.
4. To complete the Record of Survey, the applicant shall file the appropriate forms with the Valley County Assessor's office.
5. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.

Findings of Fact **adopted** this 6th day of February, 2018.

---

Fallon Fereday, Chair  
McCall Area Planning and Zoning Commission

Attest:

---

Morgan Bessaw, City Planner  
City of McCall

City of McCall

216 East Park Street  
McCall, Idaho 83638  
P.208.634.7142

LAND USE BY: .....



City of McCall  
COMMUNITY DEVELOPMENT

NOV 27 2017

APPLICATION NOV 27 2017

Date Received:

11/27/2017

Fees Paid:

# 420.00

BY: CHK 171 \$420.00

NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # 808-18-05 Record of Survey (ROS) - \$420
- # \_\_\_\_\_ Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # \_\_\_\_\_ Scenic Route (SR) - \$300
- # \_\_\_\_\_ Shoreline or River Environs (SH) - \$300
- # \_\_\_\_\_ Conditional Use Permit (CUP) - \$600
- # \_\_\_\_\_ Administrative Approval (AA) - \$50
- # \_\_\_\_\_ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # \_\_\_\_\_ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # \_\_\_\_\_ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # \_\_\_\_\_ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # \_\_\_\_\_ Minor Plat Amendment - \$1,000
- # \_\_\_\_\_ Variance (VAR) - \$1,000
- # \_\_\_\_\_ Rezone (ZON) - \$1,500
- # \_\_\_\_\_ Zoning Code Amendment (CA) - \$750/title
- # \_\_\_\_\_ Annexation - \$3,000
- # \_\_\_\_\_ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

PROPERTY OWNER INFORMATION

Property Owner 1: Gabriela Harper Email: \_\_\_\_\_ .com

Mailing Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Property Owner 2 (If Applicable): Jan Cotrell Email: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Phone: \_\_\_\_\_

AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: Joel W Droulard Email: joel@droulard.com

Mailing Address: Box 69, McCall Id 83638 Phone: 208-630-3423

PROPERTY INFORMATION

Address(es) of Property: 324 W. Lake St.

Legal Description of Property: Attached

Zoning District of Property: R4 Project Sq. Footage (If Applicable): 33,150

Impact Area  City Limits  Residential  Commercial



# LAND USE APPLICATION CONTINUED

## PROJECT DESCRIPTION

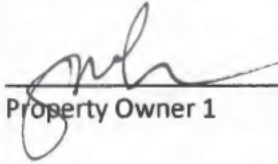
Explain the general nature of what is proposed: (please attach supplemental information if needed)

lot line adjustment to add 1907 sq. ft. to the  
Jan Cottrell property

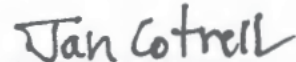
## SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

 Gabriela Harper  
Property Owner 1

Signature

  
Property Owner 2 (If Applicable)

Signature

  
Agent/Authorized Representative

Signature

## FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

  
Surveyor

  
Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.

# LAND USE APPLICATION CONTINUED

## PROJECT DESCRIPTION

Explain the general nature of what is proposed: *(please attach supplemental information if needed)*

---

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---

## SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

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\_\_\_\_\_  
Property Owner 1

\_\_\_\_\_  
Signature

*JAN HAWKIN'S Cottrell LLC*  
Property Owner 2 (If Applicable)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Agent/Authorized Representative

\_\_\_\_\_  
Signature

## FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

\_\_\_\_\_  
Surveyor

\_\_\_\_\_  
Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.

# DROULARD LAND SURVEYING, INC.

JOEL W. DROULARD, PRES.  
*Professional Land Surveyor*

POST OFFICE BOX 69  
McCALL, IDAHO 83638

TELEPHONE 208-630-3423  
E-MAIL JOEL@DROULARD.COM

November 22, 2017

McCall Planning and Zoning Commission

RECORD OF SURVEY APPLICATION, lot line adjustment for:  
Jan Hawkins Cottrell LLC and Gabriela Harper  
Lot 10 Block E, Brundage Subdivision  
333 Forest Street and 324 West Lake Street

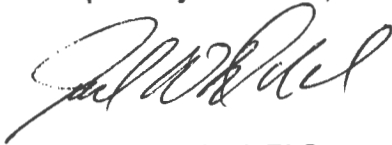
Jan Hawkins Cottrell LLC owns a 6,352 square foot parcel of land at the south west corner of Lot 10 Block E Brundage Sub., 333 Forest St.

Gabriela Harper owns the northerly 33,150 square feet of Lot 10 Block E Brundage Sub., 324 W. Lake St.

The intention of this application is to adjust the property line between the two parcels to add 1,907 square feet to the Jan Hawkins Cottrell LLC property. (The cross hatched parcel shown on the survey drawing)

Existing structures are shown on the survey map.  
These properties are zoned R4.

Respectfully submitted,



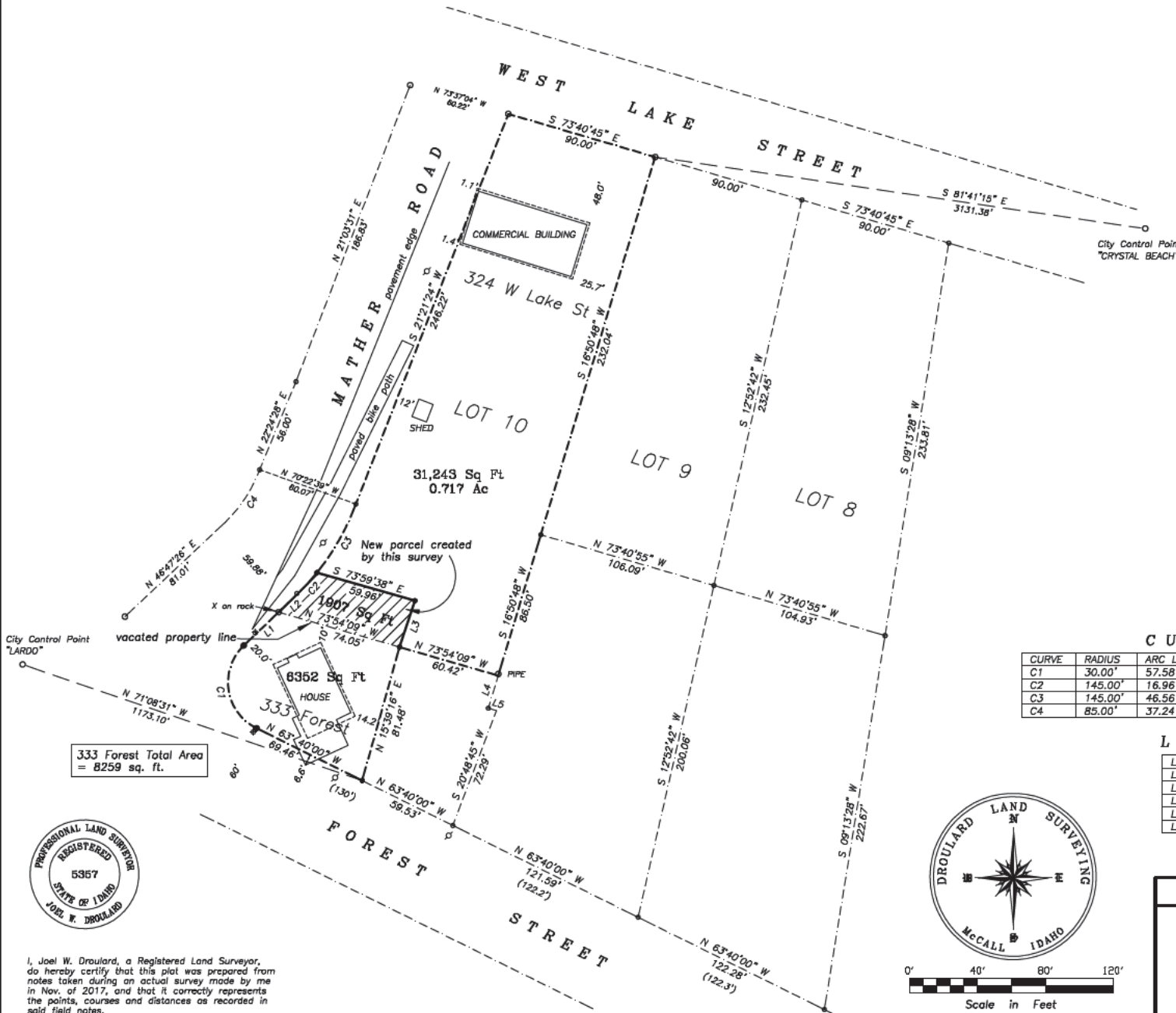
Joel W. Droulard, PLS, representing the property owners

This Record of Survey has been reviewed and approved by the City of McCall with respect to its compliance with the Zoning Ordinance and exemption from formal platting; an individual lot shown on this Record of Survey shall be considered a single lot for purposes of City Ordinances. If this record of Survey combines lots shown on a plat or survey of record, separate sale of such separate lots will constitute an illegal subdivision under the McCall City Code.

Accepted and approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
by the City of McCall.

\_\_\_\_\_  
McCall City Clerk

Book \_\_\_\_\_ Page \_\_\_\_\_  
of Records of Survey



**LEGEND**

- Found 5/8 inch dia. rebar
  - Found 1/2 inch dia. rebar
  - ◆ Found brass cap
  - Set 5/8" x 30" rebar w/plastic cap
  - ◆ Set 1/2" x 24" rebar w/plastic cap
  - ◆ Water Meter / Valve
  - ♣ Utility Pole
  - ( ) Record data in parentheses
- Bearings based on State Plane Grid

**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	30.00'	57.58'	49.14'	N 08°41'04" W	109°57'53"
C2	145.00'	16.96'	16.95'	N 42°09'30" E	6°42'11"
C3	145.00'	46.56'	46.36'	N 29°36'29" E	18°23'49"
C4	85.00'	37.24'	36.94'	S 33°14'46" W	25°06'01"

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 46°17'53" E	28.37'
L2	N 46°17'53" E	15.47'
L3	S 18°22'15" W	28.72'
L4	S 16°50'48" W	20.00'
L5	S 73°45'24" E	5.00'

333 Forest Total Area = 8259 sq. ft.



I, Joel W. Droulard, a Registered Land Surveyor, do hereby certify that this plat was prepared from notes taken during an actual survey made by me in Nov. of 2017, and that it correctly represents the points, courses and distances as recorded in said field notes.



Scale in Feet  
Distances shown are US Survey feet

**RECORD OF SURVEY 18-05**

situate in Government Lot 4  
Section B, T. 18 N., R. 3 E., B.M.,  
Lot 10 Block E, Brundage Subdivision, City of McCall  
Book 1, Page 6 of Plats, Valley County, Idaho

for

**COTTRELL / HARPER**



**McCall Area Planning and Zoning Commission  
Staff Report**

**ROS-18-07**

*106 & 122 S. Mission St.  
Hinson Record of Survey*

February 6, 2018

Applicant: Jim Hinson, Kimberly Daniels, and Joe Swinford  
Agent: Secesh Engineering Inc.  
Application: Lot combination and division  
Zoning: I - Industrial

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**Description**

The Record of Survey proposes to reconfigure two existing lots of record into three lots of 39,426 sq. ft. (0.91 acres), 10,129 sq. ft. (0.23 acres), and 13,167 sq. ft. (0.30 acres) respectively.

**Code Narrative**

This application was placed on the McCall Area Planning and Zoning Commission’s consent agenda, thereby waiving public noticing requirements, pursuant to McCall City Code section 9.1.05.B.2.

Pursuant to McCall City Code (MCC 9.1.05), lot combinations are permitted through the Record of Survey process.

**Comments**

*Agency – Text*

Payette Lakes Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the January 9<sup>th</sup>, 2018 McCall Area Planning and Zoning Commission meeting date. In an email dated December 14, 2017, PLRWSD stated that they had no comments on the application.

County Surveyor

In a letter dated December 15, 2017 the County Surveyor recommended the survey for approval.

McCall City Engineer

In an email dated December 27, 2017, the City Engineer stated the following:

1. The proposed lot split will create additional challenges along Mission Street related to access management and traffic safety. It is recommended that the new access in the “flag pole” of Parcel B be utilized as a shared access to both Parcel A (existing building) and Parcel B (new lot with new driveway). A shared driveway will allow access and continued parking in front of the existing building, and improve safety so that vehicles are not backing out into the street as occurs now with the head-in parking that currently exists. Parking design that requires a backing

out directly on to the street is not allowed based on the City's current design standards. The use of a 20' wide shared driveway and shared access for these two lots would greatly improve access safety moving forward.

2. If a shared driveway is developed in the flag pole of Parcel A, Public Works would support a second "limited use" driveway for Parcel B to have access to the existing bay door on the front of the building. It is recommended that this "limited use" driveway have the following design components:
  - a. 12' wide for direct access to the bay door only
  - b. No connection or access to parking in front of the building to the north
  - c. An intended use of trucks and/or trailers to the bay door for short term deliveries only, with no parking allowed in this driveway
3. If a shared driveway is established on the flag pole portion of Parcel B, an Access Easement should be recorded (for the benefit of Parcel A), and the instrument number and graphic depiction shown on the ROS. A redline sketch of this concept (for Comments 1, 2, and 3) is attached.
4. The layout and design of these driveways should be submitted on a site plan to demonstrate that all drainage issues are addressed with the ditches and culverts necessary.
5. It appears that the existing power pole to the northwest of the existing building may be located within the flag pole portion of Parcel B, and could be a conflict with the required 20' driveway width to access Parcel B and the shared access to the rear portion of Parcel A. It is requested that the limits of the shared driveway and access locations to Parcel A be shown on a site plan (per Comment 3) to ensure there is no conflict with this power pole
6. All water supply lines, water meters, sanitary sewer service lines, and dry utility lines should be shown on a site plan or utility plan to demonstrate that utility services can be established to Parcel B and that there are no conflicts created.

*Public* – No public comment has been received to date.

### **Conditions of Approval**

1. Prior to recordation, the applicant shall submit digital files of the Record of Survey in accordance with the McCall Digital Data Submission Standards.
2. Prior to recordation, the application shall receive final engineering approval.
3. The applicant shall provide the City with a .PDF copy of the recorded survey immediately upon recordation.
4. To complete the Record of Survey, the applicant shall file the appropriate forms with the Valley County Assessor's office.
5. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.

IN RE: )  
)  
Hinson Record of Survey ) **McCALL AREA PLANNING AND ZONING COMMISSION**  
Record of Survey ) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**  
) **DECISION**  
)  
)  
Application Number: )  
ROS-18-07 )

**FINDINGS OF FACTS**

**Applicant:** Jim Hinson, Kimberly Daniels, and Joe Swinford

**Representative(s):** Secesh Engineering Inc.

**Application:** The Record of Survey proposes to reconfigure two existing lots of record into three lots of 39,426 sq. ft. (0.91 acres), 10,129 sq. ft. (0.23 acres), and 13,167 sq. ft. (0.30 acres) respectively.

**Location:** Lots 3 and 4 of Second Amended Riverside Subdivision in the NW ¼ of the SW ¼ of Section 16, T18N, R3E, BM, City of McCall, Valley County, Idaho

**Property Address:** 106 & 122 S. Mission St.

**Public Notices:** This application was placed on the McCall Area Planning and Zoning Commission’s consent agenda, thereby waiving public noticing requirements. This was done pursuant to McCall City Code section 9.1.05.B.2, which states that the administrator may waive the application of some provisions.

**Zoning:** I - Industrial

**Property Size:** The Record of Survey proposes to reconfigure two existing lots of record into three lots of 39,426 sq. ft. (0.91 acres), 10,129 sq. ft. (0.23 acres), and 13,167 sq. ft. (0.30 acres) respectively.

**Setbacks:** Both existing lots of record have structures on them. Lot 3 has a structure situated 23.66 ft. from the northerly side property line and approximately 80 ft.

from the newly created southerly side property line. Lot 4 has a structure which is situated 10 feet from the southerly side property line and will be situated 14.54 ft. from the newly created northerly side property line. Per McCall City Code 3.5.03 property lines not fronting a roadway have a minimum setback of 10 ft. Newly created parcel B has no existing or proposed structures.

### **APPROVAL STANDARDS**

#### **Title 9, Chapter 1**

#### **Record of Survey**

**To be eligible for processing under the Record of Survey Procedure, an application for approval of a plat or survey must be signed by all owners and determined by the administrator to meet one or more of the standards set out below:**

- 1. Two (2) or more lots of record are shown, and lots are being combined and/or divided in such fashion that the lot sizes would be proper were the land the subject of a formal subdivision of no greater extent, and each lot or parcel within the proposed survey either meets lot street frontage, width and depth requirements of the applicable zone or is no less conforming in each such regard than are the lots of record.** The Record of Survey proposes to reconfigure two existing lots of record into three lots of 39,426 sq. ft. (0.91 acres), 10,129 sq. ft. (0.23 acres), and 13,167 sq. ft. (0.30 acres) respectively, all of which will meet the dimensional requirements of the underlying zone.

### **DEPARTMENT/AGENCY COMMENTS**

**Payette Lakes Recreational Water and Sewer District (PLRWSD)**

The application was distributed to the PLRWSD more than thirty (30) prior to the January 9<sup>th</sup>, 2018 McCall Area Planning and Zoning Commission meeting date. In an email dated December 14, 2017, PLRWSD stated that they had no comments on the application.

County Surveyor

In a letter dated December 15, 2017 the County Surveyor recommended the survey for approval.

McCall City Engineer

In an email dated December 27, 2017, the City Engineer stated the following:

1. The proposed lot split will create additional challenges along Mission Street related to access management and traffic safety. It is recommended that the new access in the “flag pole” of Parcel B be utilized as a shared access to both Parcel A (existing building) and Parcel B (new lot with new driveway). A shared driveway will allow access and continued parking in front of the existing building, and improve safety so that vehicles are not backing out into the street as occurs now with the head-in parking that currently exists. Parking design that requires a backing out directly on to the street is not allowed based on the City’s current design standards. The use of a 20’ wide shared driveway and shared access for these two lots would greatly improve access safety moving forward.
2. If a shared driveway is developed in the flag pole of Parcel A, Public Works would support a second “limited use” driveway for Parcel B to have access to the existing bay door on the front of the building. It is recommended that this “limited use” driveway have the following design components:
  - a. 12’ wide for direct access to the bay door only
  - b. No connection or access to parking in front of the building to the north
  - c. An intended use of trucks and/or trailers to the bay door for short term deliveries only, with no parking allowed in this driveway



3. If a shared driveway is established on the flag pole portion of Parcel B, an Access Easement should be recorded (for the benefit of Parcel A), and the instrument number and graphic depiction shown on the ROS. A redline sketch of this concept (for Comments 1, 2, and 3) is attached.
4. The layout and design of these driveways should be submitted on a site plan to demonstrate that all drainage issues are addressed with the ditches and culverts necessary.
5. It appears that the existing power pole to the northwest of the existing building may be located within the flag pole portion of Parcel B, and could be a conflict with the required 20' driveway width to access Parcel B and the shared access to the rear portion of Parcel A. It is requested that the limits of the shared driveway and access locations to Parcel A be shown on a site plan (per Comment 3) to ensure there is no conflict with this power pole
6. All water supply lines, water meters, sanitary sewer service lines, and dry utility lines should be shown on a site plan or utility plan to demonstrate that utility services can be established to Parcel B and that there are no conflicts created.

#### **CONCLUSIONS OF LAW**

1. The City of McCall has provided for the processing of Record of Survey applications, pursuant to Title 9, Chapter 1 of McCall City Code.
2. The proposed project is eligible for the Record of Survey process as a lot combination and division.
3. The proposed project meets the dimensional standards for lots in the I – Industrial zone, per Title 3, Chapter 5, McCall City Code.
4. Upon compliance with the conditions noted below, the application meets the Record of Survey Procedure requirements set forth in Title 9, Chapter 1 of McCall City Code.

**DECISION**

**THEREFORE**, the McCall Area Planning and Zoning Commission hereby **approves** this Record of Survey application, provided that the following conditions are met:

1. Prior to recordation, the applicant shall submit digital files of the Record of Survey in accordance with the McCall Digital Data Submission Standards.
2. Prior to recordation, the application shall receive final engineering approval of the survey as well as the site parking plan.
3. The applicant shall provide the City with a .PDF copy of the recorded survey immediately upon recordation.
4. To complete the Record of Survey, the applicant shall file the appropriate forms with the Valley County Assessor's office.
5. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.

Findings of Fact **adopted** this 6<sup>th</sup> day of February, 2018.

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Fallon Fereday, Chair  
McCall Area Planning and Zoning Commission

Attest:

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Morgan Bessaw, City Planner  
City of McCall

City of McCall  
216 East Park Street  
McCall, Idaho 83638  
P.208.634.7142

LAND USE NOV 29 2017  
APPLICATION: CK 3167  
\$420.00



City of McCall  
COMMUNITY DEVELOPMENT

Date Received:

11/28/17

Fees Paid:

\$420.00

NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # ROS 18-07 Record of Survey (ROS) - \$420
- # \_\_\_\_\_ Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # \_\_\_\_\_ Scenic Route (SR) - \$300
- # \_\_\_\_\_ Shoreline or River Environs (SH) - \$300
- # \_\_\_\_\_ Conditional Use Permit (CUP) - \$600
- # \_\_\_\_\_ Administrative Approval (AA) - \$50
- # \_\_\_\_\_ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # \_\_\_\_\_ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # \_\_\_\_\_ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # \_\_\_\_\_ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # \_\_\_\_\_ Minor Plat Amendment - \$1,000
- # \_\_\_\_\_ Variance (VAR) - \$1,000
- # \_\_\_\_\_ Rezone (ZON) - \$1,500
- # \_\_\_\_\_ Zoning Code Amendment (CA) - \$750/title
- # \_\_\_\_\_ Annexation - \$3,000
- # \_\_\_\_\_ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

PROPERTY OWNER INFORMATION

X Property Owner 1: Joe Swinkford Email: JS

Mailing Address:

JOE SWINKFORD Property Owner 2 (If Applicable) Email: \_\_\_\_\_

Joe Swinkford  
2100 Victoria Blvd

AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: \_\_\_\_\_ Email: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Phone: \_\_\_\_\_

PROPERTY INFORMATION

Address(es) of Property: 106 and 122 S. Mission St.

Legal Description of Property: Lots 3 and 4, Second Amended Riverside Sub.

Zoning District of Property: I Project Sq. Footage (If Applicable): 62,722

Impact Area  City Limits  Residential  Commercial

# LAND USE APPLICATION CONTINUED

## PROJECT DESCRIPTION

Explain the general nature of what is proposed: (please attach supplemental information if needed)

We propose to adjust the line between lots 3 and 4, adding 30' to the width of lot 4, and split lot 4 into two parcels.

## SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

*Andy Daniels*  
*AD*

*Daniels*

So  Property Owner 2 (If Applicable)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Agent/Authorized Representative

\_\_\_\_\_  
Signature

## FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

*Ralph Miller, Secesh Eng.*  
Surveyor

\_\_\_\_\_  
Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.

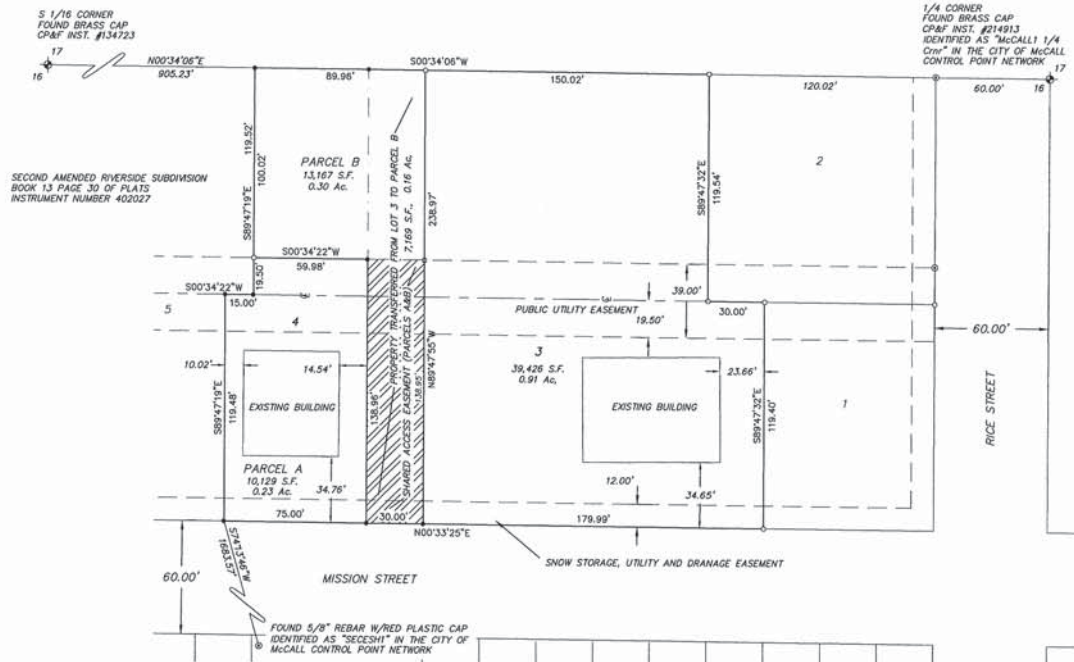


# RECORD OF SURVEY

FOR  
**HINSON and SWINFORD**  
 LOCATED IN  
 LOTS 3 AND 4 OF SECOND AMENDED RIVERSIDE SUBDIVISION,  
 IN THE NW 1/4 OF THE SW 1/4 OF SECTION 16, T.18N., R.3E., B.M.,  
 CITY OF McCall, VALLEY COUNTY, IDAHO  
 2018

BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_  
 OF RECORDS OF SURVEY.

RECORDERS STAMP



### LEGEND

- ⊕ FOUND BRASS CAP MONUMENT
- ⊕ FOUND ALUMINUM CAP MONUMENT
- ⊕ FOUND 5/8" IRON PIN
- ⊕ FOUND 1/2" IRON PIN
- ⊕ SET 1/2" X 24" REBAR MKD LS 8577
- ⊕ SET 5/8" X 30" REBAR MKD LS 8577
- CALCULATED POSITION - NOTHING SET
- EASEMENT LINES
- ▨ SHARED ACCESS EASEMENT BETWEEN PARCELS A AND B



SCALE: 1" = 40'  
 Bearings and distances measured are Based on  
 McCall Modified Grid Control Point Network

This record of survey has been reviewed and approved by the City of McCall with respect to its compliance with the Subdivision and Development Ordinance and exemption from formal platting; an individual lot shown on this record of survey shall be considered a single lot for purposes of City ordinances.

This survey has created 2 lots from the original lot as it existed on March 24, 1994. No more than four (4) total lots may be created from the original lot, using the record of survey process. The creation of five (5) or more lots from a single original lot, using the record of survey procedure, constitutes an illegal subdivision of land.

This survey is being filed to adjust the line between Lots J and K, Second Amended Riverside Subdivision and split Lot K into 2 parcels as shown.

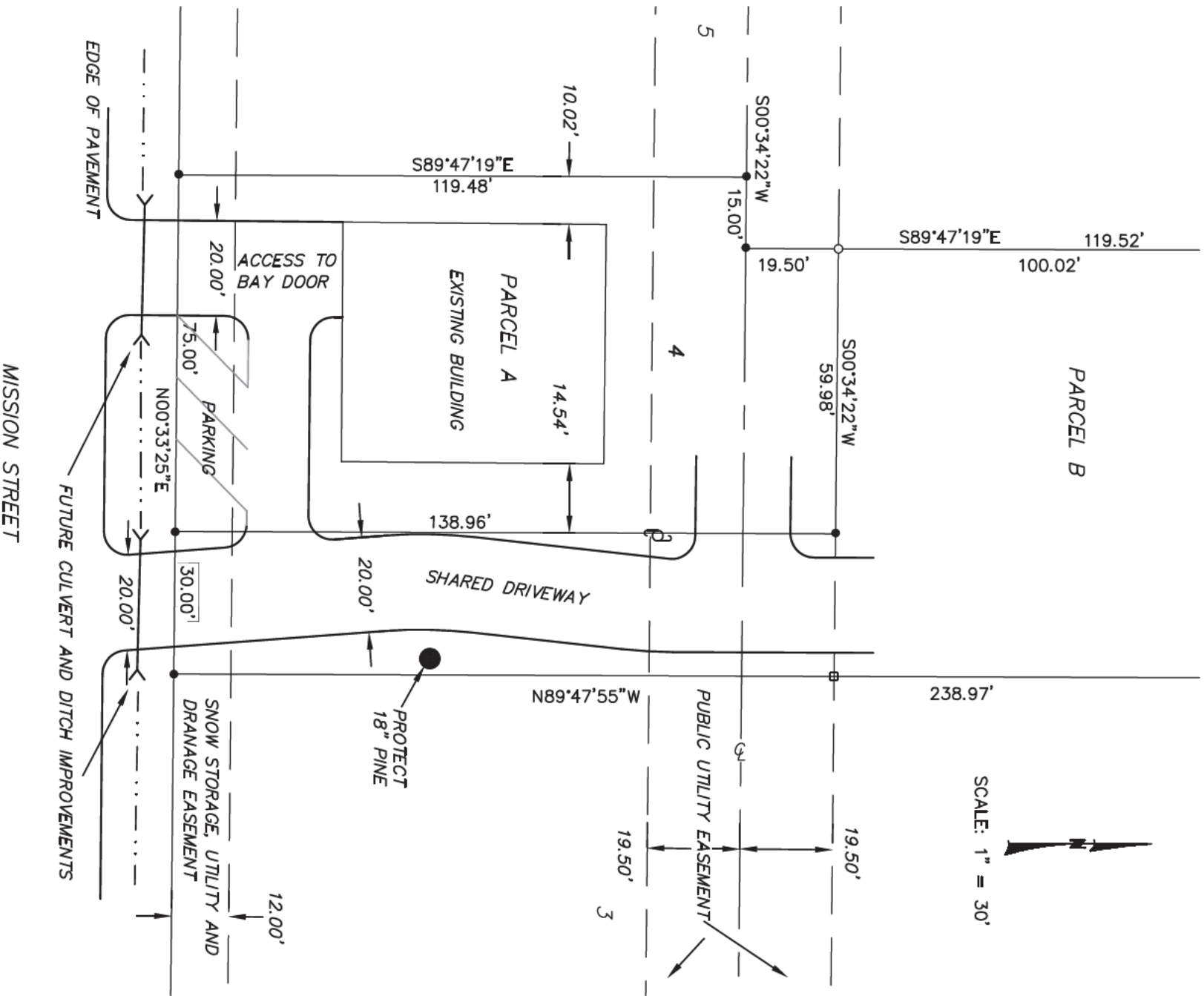
Accepted and approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by the City of McCall.

\_\_\_\_\_  
 McCall City Clerk

I, Ralph Miller, a Professional Land Surveyor Registered in the State of Idaho, do hereby certify that this plat was prepared from notes taken during an actual survey made by me and that it correctly represents the points, courses and distances as recorded in said field notes.



**SECESH ENGINEERING INC.**  
 P.O. Box 70  
 McCall, ID 83638  
 (208) 634-6336



SCALE: 1" = 30'



SECESH ENGINEERING, INC.  
 335 DENIHARD LANE, SUITE 1  
 McCALL, IDAHO 83638  
 208-634-6336

ROCKY MOUNTAIN SIGNS  
 SITE PLAN

Drawing No.:  
 Drawn by: REM  
 Date: 1/25/18



**McCall Area Planning and Zoning Commission  
Staff Report**

**ROS-18-09**

*376 Verita Rd. and 380 TJ's Loop  
Maupin Hogan Combination*

February 6, 2018

Applicant: Shore Lodge Whitetail LLC, Fred and Sherry Maupin, and Tim and Amy Hogan  
Agent: Secesh Engineering  
Application: Lot Combination  
Zoning: R8 – Medium Density Residential and R4 – Low Density Residential

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**Description**

A record of survey application to combine one existing lot of record with a parcel of approximately 0.36 acres - and to combine a separate existing lot of record with a second parcel of approximately 0.30 acres.

**Code Narrative**

This application was placed on the McCall Area Planning and Zoning Commission's consent agenda, thereby waiving public noticing requirements, pursuant to McCall City Code section 9.1.05.B.2.

Pursuant to McCall City Code (MCC 9.1.05), lot combinations are permitted through the Record of Survey process.

**Comments**

*Agency –*

McCall City Engineer

In an email dated January 24, 2018, the City Engineer stated the following:

1. It is requested that the applicants consider some "clean up" of the existing property and Right-of-Way lines at the intersection of Verita Road and Timbercrest Loop. This area is where existing Lot 23 and Parcel A are being combined, and where roadway/intersection improvements are proposed for the Broken Timber Subdivision that will be completed by the current owner of Parcel A and Parcel B (Shore Lodge Whitetail LLC). It would seem advantageous for all parties to have some level of Right-of-Way dedication completed prior to recording this ROS to clean up this corner.
2. If revisions of the property line and ROW are undertaken, please prepare and submit a revised ROS (in PDF) and the required digital files (MMG and SPG versions) in accordance with the City's digital data submission standards (DDSS) for review and approval prior to preparation of the final ROS document (mylar) for signature.

Based on this initial review, it appears likely that the project will conform to the City’s engineering and GIS requirements.

#### County Surveyor

In a letter dated January 11, 2018, the County Surveyor noted that there were minor changes needed regarding the spelling of “Instrument” in the notes referencing Timbercrest Sub. Phase 1 and the note showing Broken Ridge Sub. Other than the minor spelling changes, approval was recommended.

#### Payette Lakes Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the February 6<sup>th</sup> McCall Area Planning and Zoning Commission meeting date. In an email dated January 9, 2018 the district stated they had no comments on the application.

*Public* – No public comment has been received to date.

#### **Conditions of Approval**

1. Prior to recordation, the application shall receive final engineering approval.
2. Prior to recordation, the applicant shall submit digital files of the Record of Survey in accordance with the McCall Digital Data Submission Standards.
3. The applicant shall provide the City with a .PDF copy of the recorded survey immediately upon recordation.
4. To complete the Record of Survey, the applicant shall file the appropriate forms with the Valley County Assessor’s office.
5. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.

IN RE: )  
)  
Maupin Hogan Combination ) **McCALL AREA PLANNING AND ZONING COMMISSION**  
Record of Survey ) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**  
) **DECISION**  
)  
)  
Application Number: )  
ROS-18-09 )

**FINDINGS OF FACTS**

**Applicant:** Shore Lodge Whitetail LLC, Fred and Sherry Maupin, and Tim and Amy Hogan

**Representative(s):** Secesh Engineering

**Application:** A record of survey application to combine one existing lot of record with a parcel of approximately 0.36 acres - and to combine a separate existing lot of record with a second parcel of approximately 0.30 acres.

**Location:** Lots 23 and 24 Block 4, Broken Ridge Subdivision, situate in NE ¼ of the NE ¼ of Section 18, T18N, R3E, B.M. and a portion of the SE ¼ of the SE ¼ of Section 6, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

**Property Address:** 376 Verita Rd. and 380 TJ's Loop

**Public Notices:** This application was placed on the McCall Area Planning and Zoning Commission's consent agenda, thereby waiving public noticing requirements. This was done pursuant to McCall City Code section 9.1.05.B.2, which states that the administrator may waive the application of some provisions.

**Zoning:** R8 – Medium Density Residential, and R4 – Low Density Residential

**Property Size:** The combined area of parcel A is 32,314 sq. ft. (0.74 acres) and the combined area of parcel B is 32,570 sq. ft. (0.75 acres).

**Setbacks:** There are existing structures on both 376 Verita Rd. and 380 TJ's Loop. The setback to these structures is not determined, however, the lot combination will

not change the required front or side setbacks to these structures. The setback from Timbercrest Loop will increase to 20 ft. There are no existing structures within this setback.

## **APPROVAL STANDARDS**

### **Title 9, Chapter 1**

#### **Record of Survey**

**To be eligible for processing under the Record of Survey Procedure, an application for approval of a plat or survey must be signed by all owners and determined by the administrator to meet one or more of the standards set out below:**

- 1. Two (2) or more lots of record are being combined.** The Record of Survey proposes to combine Parcel A with Lot 23 Broken Ridge Subdivision, and Parcel B with Lot 24 Broken Ridge Subdivision.
- 2. Two (2) or more lots of record are shown, and lots are being combined and/or divided in such fashion that the lot sizes would be proper were the land the subject of a formal subdivision of no greater extent, and each lot or parcel within the proposed survey either meets lot street frontage, width and depth requirements of the applicable zone or is no less conforming in each such regard than are the lots of record.** The Record of Survey proposes to combine two existing lots of record with unplatted parcels A & B. The resulting lots meet the lot street frontage, width, and depth requirements of the R8 – Medium Density Residential and R4 – Low Density Residential zones (MCC 3.3.03, MCC 3.3.04 and MCC 3.3.05).

## **DEPARTMENT/AGENCY COMMENTS**

### **McCall City Engineer**

In an email dated January 24, 2018, the City Engineer stated the following:

1. It is requested that the applicants consider some “clean up” of the existing property and Right-of-Way lines at the intersection of Verita Road and Timbercrest Loop. This area is where existing Lot 23 and Parcel A are being combined, and where roadway/intersection improvements are proposed for the Broken Timber Subdivision that will be completed by the current owner of Parcel A and Parcel B (Shore Lodge Whitetail LLC). It would seem advantageous for all parties to have some level of Right-of-Way dedication completed prior to recording this ROS to clean up this corner.
2. If revisions of the property line and ROW are undertaken, please prepare and submit a revised ROS (in PDF) and the required digital files (MMG and SPG versions) in accordance with the City’s digital data submission standards (DDSS) for review and approval prior to preparation of the final ROS document (mylar) for signature.

Based on this initial review, it appears likely that the project will conform to the City’s engineering and GIS requirements.

County Surveyor

In a letter dated January 11, 2018, the County Surveyor noted that there were minor changes needed regarding the spelling of “Instrument” in the notes referencing Timbercrest Sub. Phase 1 and the note showing Broken Ridge Sub. Other than the minor spelling changes, approval was recommended.

Payette Lakes Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the February 6<sup>th</sup> McCall Area Planning and Zoning Commission meeting date. In an email dated January 9, 2018 the district stated they had no comments on the application.

**CONCLUSIONS OF LAW**

1. The City of McCall has provided for the processing of Record of Survey applications, pursuant to Title 9, Chapter 1 of McCall City Code.
2. The proposed project is eligible for the Record of Survey process as a lot combination.
3. The proposed project meets the dimensional standards for lots in the R4, per Title 3, Chapter 3, McCall City Code.
4. Upon compliance with the conditions noted below, the application meets the Record of Survey Procedure requirements set forth in Title 9, Chapter 1 of McCall City Code.

### **DECISION**

**THEREFORE**, the McCall Area Planning and Zoning Commission hereby **approves** this Record of Survey application, provided that the following conditions are met:

1. Prior to recordation, the application shall receive final engineering approval.
2. Prior to recordation, the applicant shall submit digital files of the Record of Survey in accordance with the McCall Digital Data Submission Standards.
3. The applicant shall provide the City with a .PDF copy of the recorded survey immediately upon recordation.
4. To complete the Record of Survey, the applicant shall file the appropriate forms with the Valley County Assessor's office.
5. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.



Findings of Fact **adopted** this 6<sup>th</sup> day of February, 2018.

---

Fallon Fereday, Chair  
McCall Area Planning and Zoning Commission

Attest:

---

Morgan Bessaw, City Planner  
City of McCall

City of McCall  
216 East Park Street  
McCall, Idaho 83638  
P.208.634.7142

# LAND USE APPLICATION



Date Received:

12/26/17

Fees Paid:

420.00

## NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # \$420 <sup>POS-09</sup> Record of Survey (ROS) - \$420
- # \_\_\_\_\_ Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # \_\_\_\_\_ Scenic Route (SR) - \$300
- # \_\_\_\_\_ Shoreline or River Environs (SH) - \$300
- # \_\_\_\_\_ Conditional Use Permit (CUP) - \$600
- # \_\_\_\_\_ Administrative Approval (AA) - \$50
- # \_\_\_\_\_ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # \_\_\_\_\_ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # \_\_\_\_\_ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # \_\_\_\_\_ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # \_\_\_\_\_ Minor Plat Amendment - \$1,000
- # \_\_\_\_\_ Variance (VAR) - \$1,000
- # \_\_\_\_\_ Rezone (ZON) - \$1,500
- # \_\_\_\_\_ Zoning Code Amendment (CA) - \$750/title
- # \_\_\_\_\_ Annexation - \$3,000
- # \_\_\_\_\_ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

## PROPERTY OWNER INFORMATION

Property Owner 1: Shore Lodge Whitetail LLC Email: d

Mailing Address: 501 West Lake Street, McCall, ID 83638 Phone: 4

Property Owner 2 (If Applicable): Fred & Sherry Maupin Email:

Mailing Address: Phone:

Property Owner 3: y h

## AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: Ralph Miller/Secesh Engineering Email: rmsecesh@citlink.net

Mailing Address: 335 Deinhard Lane, Suite 1, McCall, ID 83638 Phone: 208-634-6336

## PROPERTY INFORMATION

Address(es) of Property: 376 Verita, and 380 TJ's Loop, McCall, ID 83638

Legal Description of Property: Lots 23 & 24 Block 4 Broken Ridge Subdivision and a portion of the SE1/4 of the SE1/4 of S6T18NR3EBM

Zoning District of Property: R8 & R4 Project Sq. Footage (If Applicable): 32,570 SF & 32,214 SF

Impact Area  City Limits  Residential  Commercial

# LAND USE APPLICATION CONTINUED

## PROJECT DESCRIPTION

Explain the general nature of what is proposed: (please attach supplemental information if needed)

To combine Lot 24 Broken Ridge Subdivision (currently owned by Tim & Amy Hogan) with Parcel B (currently owned by Shore Lodge Whitetail LLC), and to combine Lot 23 Broken Ridge Subdivision (currently owned by Fred & Sherry Maupin) with Parcel A (currently owned by Shore Lodge Whitetail LLC)

## SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information may result in denial of this application.

Daniel R. Sath  
Property Owner 1

[Signature]  
Signature

Property Owner 2 (If Applicable) Maupin

Signature

~~Agent/Authorized Representative~~  
Property Owner 3 - Hogan

Signature

## FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

[Signature] Robert Miller  
Surveyor

[Signature]  
Signature

I hereby certify that I have performed a thorough search for all relevant easements indicated or referenced these by their instrument number on the provided survey. subject property and have

DEC 27 2017

BY: CK # 32361

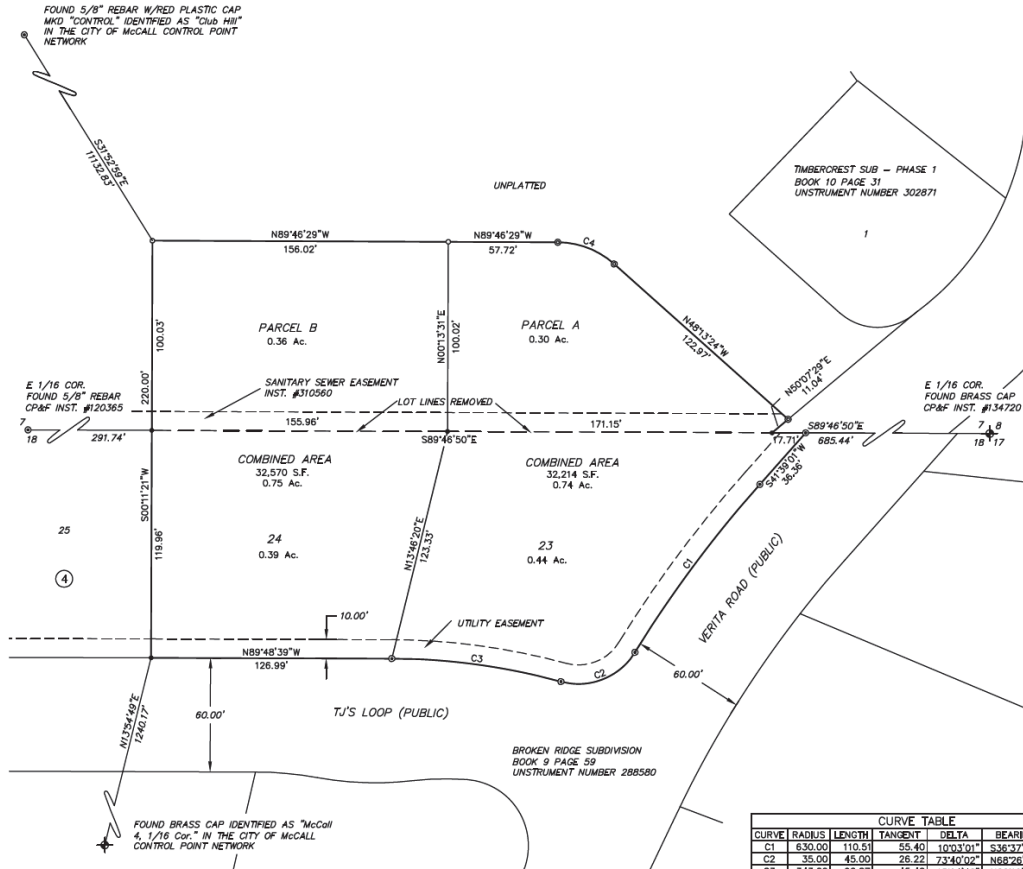
# RECORD OF SURVEY

FOR  
**WHITETAIL, HOGAN AND MAUPIN**  
LOCATED IN

LOTS 23 AND 24 BLOCK 4 BROKEN RIDGE SUBDIVISION  
in the NE 1/4 of the NE 1/4 of SECTION 18  
and a portion of the SE 1/4 OF of the SE 1/4 of SECTION 7, T.18N., R.3E., B.M.,  
CITY OF McCALL, VALLEY COUNTY, IDAHO  
2018

BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_  
OF RECORDS OF SURVEY.

RECORDERS STAMP



SCALE: 1" = 40'  
Bearings based on the City of McCall Modified Grid  
Distances are measured on the ground

### LEGEND

- FOUND 5/8" IRON PIN
- FOUND 1/2" IRON PIN
- ⊕ FOUND BRASS CAP MONUMENT
- ⊕ FOUND ALUMINUM CAP MONUMENT
- SET 5/8" X 24" REBAR MKD LS 8577
- SET 1/2" X 24" REBAR MKD LS 8577
- CALCULATED POSITION - NOTHING SET

I, Ralph Miller, a Professional Land Surveyor Registered in the State of Idaho, do hereby certify that this plot was prepared from notes taken during an actual survey made by me and that it correctly represents the points, courses and distances as recorded in said field notes.



**CITY OF McCALL NOTES:**  
This record of survey has been reviewed and approved by the City of McCall with respect to its compliance with the Subdivision and Development Ordinance and exemption from formal platting. An individual lot shown on this record of survey shall be considered a single lot for purposes of City ordinances. In this record of survey combined lots shown on a plat or survey of record, the separate sale of such former separate lots will constitute an illegal subdivision under the McCall City Code.

This Record of Survey is being filed to combine Lot 23 Block 4 Broken Ridge Subdivision and Parcel A as shown, and to combined Lot 24 Block 4 Broken Ridge Subdivision and Parcel B as shown.

Accepted and approved this \_\_\_\_\_ day of \_\_\_\_\_  
20\_\_\_\_ by the City of McCall.

McCall City Clerk

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	CHORD
C1	630.00	110.51	55.40	100.33°	S36°37'31"W	110.37
C2	35.00	45.00	25.22	73°40'02"	N88°28'02"E	41.96
C3	343.00	90.27	45.40	130°44'21"	N82°18'18"W	90.01
C4	45.00	32.83	17.07	41°33'06"	N68°59'56"W	31.92

**SECESH ENGINEERING INC.**  
P.O. Box 70  
McCall, ID 83638  
(208) 634-6336



**McCall Area Planning and Zoning Commission  
Staff Report**

**DR-18-10, SH-18-04**

*901 Yew Wood St.  
Wood Landscaping*

February 6, 2018

Applicant: Chester J. Wood  
Agent: Breckon Land Design  
Application: A Design Review and Shoreline and River Environs Zone Applications  
Zoning: R4 – Low Density Residential

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**Description**

Design Review and Shoreline applications to make site improvements for an on-site storm water management system that will modify existing drainage patterns and additional landscape work. Three new sub-alpine fir trees will be planted along the lawn area edge to increase screening of the residence from the lake.

Existing lot coverage exceeds McCall City Code. The applicant proposes to reduce the patio and pathways coverage by 13.5%, provide an organic ground cover fire pit area, and realign the stair walkway to the dock area.

**Code Narrative**

Pursuant to McCall City Code (MCC 3.16.02), Design Review is required for residential structures in excess of 3500 sq. ft. and/or within the Shoreline and River Environs Zone.

**Design Guideline Narrative**

Please see the attached Findings and Conclusions document for Design Guideline analysis.

**Comments**

*Agency –*

McCall City Engineer

1. The plans submitted appear to show no disturbance or grading below the ordinary high water line of Payette Lake (approximate contour elevation of 4992 on these plans). If this is not the case and there is disturbance proposed below the ordinary high water line (i.e. reconstruction of the existing sea wall is proposed with this project, and/or new sea wall is proposed), then a Floodplain Development must be applied for and approved prior to the start of construction.
2. There appear to be no retaining walls proposed that exceed 30" (2.5') in height on the project. If this is not the case, the plans will likely need to be revised as no retaining walls greater than 30" in height are allowed in setback areas.

3. Based on the review of the stormwater application and stormwater report submitted, it appears the project will meet all of the requirements of the Drainage Management Guidelines (DMGs).

This email provides conditional engineering approval of the application if there are no revisions required to address the comments above or to gain permit approval from other agencies.

#### Idaho Department of Lands (IDL)

In an email dated January 25, 2018, IDL stated that upon review of the Property Owners Encroachment permit, it appears that there are two non-compliances which need to be addressed.

- 1) It appears that some boulder work occurred below the Ordinary High Water Mark (OHWM) without first obtaining an encroachment permit. The Property Owner may contact me to obtain the necessary forms to permit the portions of the boulder shoreline armoring below the OHWM.
- 2) It also appears that a longer ramp was added to the dock extending the dock further than indicated in the permit on file. If the Property owner wishes to keep the current dock configuration than a new application for encroachment will be required.

#### Payette Lake Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the February 6<sup>th</sup>, 2018 McCall Area Planning and Zoning Commission meeting date. In an email dated January 9, 2018, PLRWSD stated they had no comments for this application.

*Public* – No public comments have been received to date.

#### **Commission Findings**

The Commission hereby makes the following findings:

1. The project is in general conformance with the Comprehensive Plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable specifications outlined in the City of McCall Design Guidelines as well as all other applicable requirements of the Zoning.

#### **Conditions of Approval**

1. Prior to commencing site work, a floodplain development permit and final engineering approval are required.
2. Pursuant to McCall City Code (MCC 3.16.08), design review approval shall lapse and become void if the project has not commenced within one year from the date of initial approval.



IN RE: )  
)  
Wood Landscaping )  
Design Review )  
)  
)  
Application Number: )  
DR-18-10, SH-18-04 )

**McCALL AREA PLANNING AND ZONING COMMISSION  
FINDINGS OF FACT, CONCLUSIONS OF LAW, AND  
DECISION**

**FINDINGS OF FACTS**

**Applicant:** Chester J. Wood

**Representative:** Breckon Land Design

**Application:** Design Review and Shoreline applications to make site improvements for an on-site storm water management system that will modify existing drainage patterns and additional landscape work. Three new sub-alpine fir trees will be planted along the lawn area edge to increase screening of the residence from the lake.

**Address:** 901 Yew Wood St.

**Location:** Lot 49, 50 and 56, Group C in Payette Lake Club, situate in Section 5, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

**Public Notice:** This application was placed on the McCall Area Planning and Zoning Commission’s consent agenda, thereby waiving public noticing requirements, pursuant to McCall City Code section 3.16.03.A.

**Zoning:** R4 – Low Density Residential

**Property Size:** 18,138 sq. ft. (0.41 acres)

**Lot Coverage:** Existing lot coverage exceeds allowable at 5,995 sq. ft. or 33% coverage (allowable for a lot of this size is 25%). The applicant proposes to reduce the existing patio and pathway coverage by 150 sq. ft. (13.5%)

## APPROVAL STANDARDS

### Title 3, Chapter 7

#### Shoreline and River Environs Zone

No conditional use or building permit shall be issued, nor is any development, grading, or alteration of any land within this zone permitted, unless the applicant establishes to the satisfaction of the commission and council in the case of a conditional use, or of the administrator in the case of a building permit, that:

1. **The proposed development meets all applicable requirements of this title and title IX of this code.** The proposed landscaping exceeds lot coverage allowances, however, it is no more non-conforming than it is currently. No additional lot coverage is proposed with this application.
2. **The plans accurately identify the water pool shore contours and high water marks, which, in the case of river environs, shall mean the limits of the area of special flood hazard.** The site plan indicates the location of the Ordinary High Water Mark of Payette Lake. Idaho Department of Lands has reviewed the site plan and stated that it has no concerns regarding the project.
3. **A letter is on file from a specialist certified by the United States army corps of engineers wetlands expert that certifies that no wetlands related issues or issues related to fill of navigable waters issues were presented by the proposed development; or that a section 404 permit has been issued or is forthcoming by the corps of engineers, whichever is appropriate, city approval(s) under this title and title IX of this code are contingent upon all applicable section 404 permit requirements being met.** It appears that a 404 permit will not be necessary although the City reserves the right to require this at a later date if it becomes necessary.
4. **The requirements of the underlying zone are met.** The requirements of the underlying R4 – Low Density Residential zone is met.

5. **The fifty foot (50') building setback line is met per subsection (C)3(c) of this section.** No additional buildings are proposed as part of this project.
6. **Proof of stormwater certification training has been provided by the individual applying for the building permit.** The stormwater application has been signed and a responsible party is identified.

### **Title 3, Chapter 16**

#### **Design Review**

The commission or administrator shall determine the following before approval is given:

1. **The project is in general conformance with the comprehensive plan.**
2. **The project does not jeopardize the health, safety or welfare of the public.**
3. **The project conforms to the applicable specifications outlined in the "City Of McCall Design Guidelines", incorporated by reference herein, as well as all other applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the city of McCall.** Please see the review of the Design Guidelines below.

#### **DESIGN GUIDELINES**

##### **Landscaping and Site Design**

1. **Light Fixtures:** No exterior light fixtures are proposed as part of this project.
2. **Fences and Walls:** No fences or walls are proposed.
3. **Retaining Walls:** No retaining walls are proposed.
4. **Paving and Streetscapes:** N/A
5. **Landscaping Plan:** A landscaping plan has been submitted.
6. **Site Conditions for Landscaping:** The site conditions have been considered during development of the landscaping plan.

7. **Lawn Area:** A lawn area located between the existing residence and the shoreline consists of creeping red fescue. A creeping thyme fire pit area is also provided.
8. **Plants as Screening:** Three new sup-alpine fir trees will be planted to provide further screening between the existing residence and the lakefront.
9. **Utility Installations:** N/A
10. **Snow Storage:** Snow storage is provided on site.
11. **Screen Parking Lots:** N/A
12. **Irrigation System Required:** The lawn and landscaped areas are irrigated.
13. **Retain Existing Vegetation:** All existing trees will be maintained.
14. **Preserve Existing Trees:** All existing trees will be retained and protected during construction. A tree protection plan has been submitted.
15. **Grading and Drainage:** A stormwater management plan has been submitted and reviewed and approved by the City Engineer.
16. **Maintenance:** The landscaping is maintained by the property owner.
17. **Sidewalks:** N/A
18. **Bike Paths:** N/A

#### DEPARTMENT/AGENCY COMMENTS

##### McCall City Engineer

1. The plans submitted appear to show no disturbance or grading below the ordinary high water line of Payette Lake (approximate contour elevation of 4992 on these plans). If this is not the case and there is disturbance proposed below the ordinary high water line (i.e. reconstruction of the existing sea wall is proposed with this project, and/or new sea wall is proposed), then a Floodplain Development must be applied for and approved prior to the start of construction.

2. There appear to be no retaining walls proposed that exceed 30" (2.5') in height on the project. If this is not the case, the plans will likely need to be revised as no retaining walls greater than 30" in height are allowed in setback areas.
3. Based on the review of the stormwater application and stormwater report submitted, it appears the project will meet all of the requirements of the Drainage Management Guidelines (DMGs).

This email provides conditional engineering approval of the application if there are no revisions required to address the comments above or to gain permit approval from other agencies.

Idaho Department of Lands (IDL)

In an email dated January 25, 2018, IDL stated that upon review of the Property Owners Encroachment permit, it appears that there are two non-compliances which need to be addressed.

- 1) It appears that some boulder work occurred below the Ordinary High Water Mark without first obtaining an encroachment permit. The Property Owner may contact me to obtain the necessary forms to permit the portions of the boulder shoreline armoring below the OHWM.
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Payette Lake Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the February 6<sup>th</sup>, 2018 McCall Area Planning and Zoning Commission meeting date. In an email dated January 9, 2018, PLRWSD stated they had no comments for this application.

**CONCLUSIONS OF LAW**

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.

2. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

**DECISION**

**THEREFORE**, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review application, provided that the following conditions are met:

1. Prior to commencing site work, a floodplain development permit and final engineering approval are required.
2. Pursuant to McCall City Code (MCC 3.16.08), design review approval shall lapse and become void if the project has not commenced within one year from the date of initial approval.

Findings of Fact **adopted** this 6<sup>th</sup> day of February, 2018.

---

Fallon Fereday, Chair  
McCall Area Planning and Zoning Commission

Attest:

---

Morgan Bessaw, City Planner  
City of McCall



City of McCall  
216 East Park Street  
McCall, Idaho 83638  
P.208.634.7142

# LAND USE APPLICATION



Date Received:

12/2

Fees Paid:

\$1000.00

### NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # \_\_\_\_\_ Record of Survey (ROS) - \$420
- # DR-18-10 Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # \_\_\_\_\_ Scenic Route (SR) - \$300
- # SH-18-04 Shoreline or River Environs (SH) - \$300
- # \_\_\_\_\_ Conditional Use Permit (CUP) - \$600
- # \_\_\_\_\_ Administrative Approval (AA) - \$50
- # \_\_\_\_\_ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # \_\_\_\_\_ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # \_\_\_\_\_ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # \_\_\_\_\_ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # \_\_\_\_\_ Minor Plat Amendment - \$1,000
- # \_\_\_\_\_ Variance (VAR) - \$1,000
- # \_\_\_\_\_ Rezone (ZON) - \$1,500
- # \_\_\_\_\_ Zoning Code Amendment (CA) - \$750/title
- # \_\_\_\_\_ Annexation - \$3,000
- # \_\_\_\_\_ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please

### PROPERTY OWNER INFORMATION

Property Owner 1: CHESTER J. WOOD Email: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
31  
(SAME) Phone: 208.2

### AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: CHUCK EDWARDS Email: cedwards@breckenid.com  
Mailing Address: 6661 N. GLENWOOD ST. GARDEN CITY, ID 83714 Phone: 208-376-5153

### PROPERTY INFORMATION

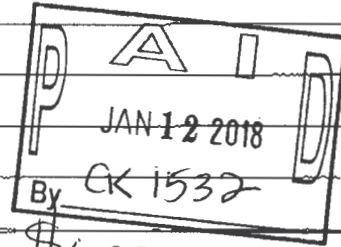
Address(es) of Property: 901 YEW WOOD ST., MCCALL, ID  
Legal Description of Property: PARTION OF LOT 3 OF SECTION 5, TOWNSHIP 18 NORTH RANGE 3 EAST  
Zoning District of Property: R-4 Project Sq. Footage (if Applicable): 9148  
Impact Area  City Limits  Residential  Commercial

# LAND USE APPLICATION CONTINUED

## PROJECT DESCRIPTION

Explain the general nature of what is proposed: (please attach supplemental information if needed)

SEE ATTACHED



## SIGNATURES

\$600.00

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

CHESTER J. WOOD

Property Owner 1

Signature

DEBORAH K. WOOD

Property Owner 2 (If Applicable)

Signature

Huck B. Edwards

Agent/Authorized Representative

Signature

## FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

Surveyor

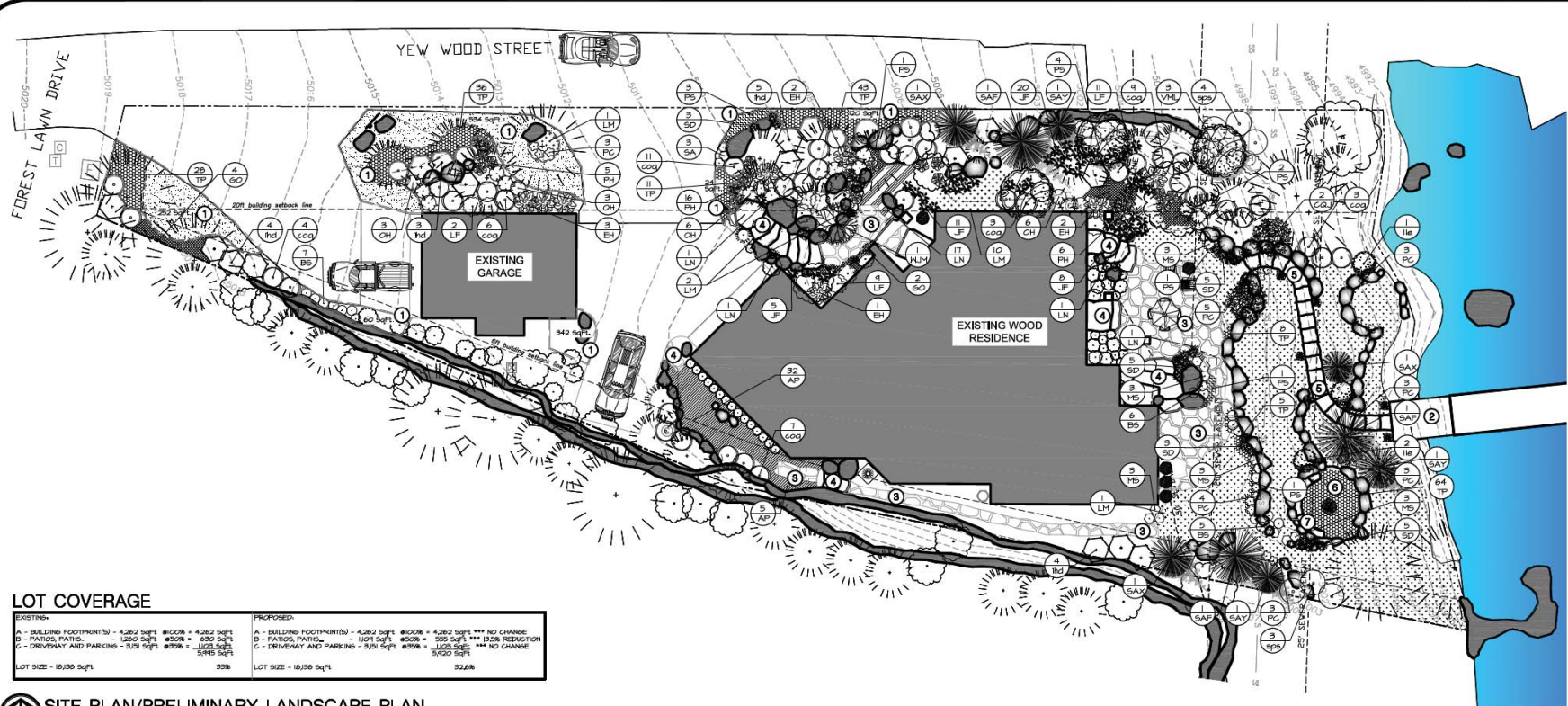
Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.

**Project Description**

There is no proposed building construction. All existing structures and trees will remain. Site work shall consist of expansion of existing flagstone patio, proposed flagstone pathways, proposed stone steps, realignment of existing stone steps, expansion of existing flagstone fire pit area, proposed flagstone sitting patio, refurbish/realign existing boulder walls/accent boulders, proposed additional landscape planting enhancements and necessary earthwork to provide stormwater treatment which consists of a proposed grass swale and expanding/refurbishing an existing drain located under the existing fire pit.





**LOT COVERAGE**

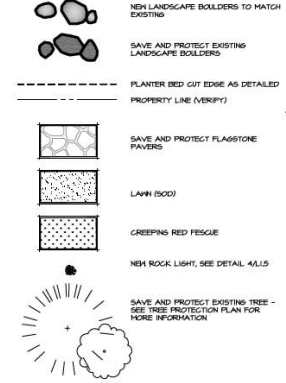
EXISTING	PROPOSED
A - BUILDING FOOTPRINTS - 4,262 SqFt #100% = 4,262 SqFt	A - BUILDING FOOTPRINTS - 4,262 SqFt #100% = 4,262 SqFt *** NO CHANGE
B - PATIOS, PATIOS - 1,280 SqFt #208% = 2,650 SqFt	B - PATIOS, PATIOS - 1,074 SqFt #508% = 559 SqFt *** 21.06% REDUCTION
C - DRIVEWAY AND PARKING - 3,125 SqFt #358% = 1,123 SqFt 50% REDUCTION	C - DRIVEWAY AND PARKING - 9,151 SqFt #358% = 1,123 SqFt *** NO CHANGE
LOT SIZE - 10,330 SqFt 35%	LOT SIZE - 10,330 SqFt 32.6%

**SITE PLAN/PRELIMINARY LANDSCAPE PLAN**

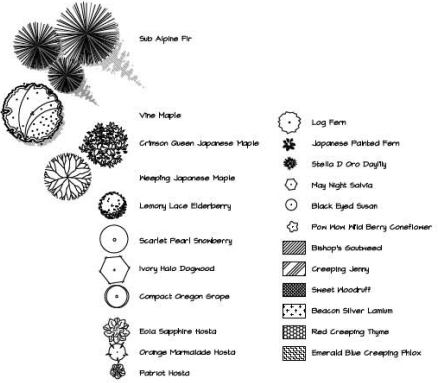
**PLANT SCHEDULE**

QTY	KEY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
<b>TREES</b>					
3	SAF	Sub Alpine Fir	Abies lasiocarpa	10'-12' B&B	65%SH
3	SAF	Sub Alpine Fir	Abies lasiocarpa	12'-14' B&B	65%SH
3	SAF	Sub Alpine Fir	Abies lasiocarpa	14'-16' B&B	65%SH
3	YAL	Yew	Taxus canadensis	16'-18'	65%SH
2	CGJ	Crimson Green Japanese Maple	Acer palmatum 'Crimson Queen'	16'-20'	20%SH
1	HEJ	Heeping Japanese Maple	Acer palmatum 'Hortensae'	16'-20'	50%SH
<b>SHRUBS</b>					
3	LL	Lemony Lace Elderberry	Sambucus racemosa 'SFB02'	3' dia	50%SH
1	SS	Scarlet Pearl Snowberry	Viburnum acerifolium 'Scarlet Pearl'	3' dia	20%SH
1	SS	Scarlet Pearl Snowberry	Viburnum acerifolium 'Scarlet Pearl'	3' dia	50%SH
4	CO	Compact Oregon Grape	Hibiscus syriacus	2' dia	50%SH
<b>PERENNIALS</b>					
8	EH	Elio Sappine Hosta	Hosta 'Elio Sappine'	1' dia	50%SH
16	OH	Orange Marmalade Hosta	Hosta x 'Orange Marmalade'	1' dia	50%SH
20	PH	Patriot Hosta	Hosta 'Patriot'	1' dia	20%SH
20	LF	Living Fern	Polystichum acrostichum	1' dia	50%SH
46	JE	Japanese Platted Fern	Althoffia nipponica 'Platted'	1' dia	20%SH
2	ST	Stella O Dro Daylily	Hemerocallis x 'Stella O Dro'	1' dia	10%SH
16	MS	May Night Salvia	Salvia x 'May Night'	2' dia	20%SH
16	PS	Pink Sand Petal	Hedysarum coronarium	1' dia	20%SH
1	PS	Pink Sand Petal	Hedysarum coronarium 'WAB102411'	1' dia	20%SH
<b>GROUNDCOVERS</b>					
32	AS	Bishop's Goutweed	Asplenium podagrifolium 'Vorklager'	4" pot	24" dia
18	LN	Creeping Juncus	Juncus tenuis 'Arroyo'	4" pot	36" dia
14	SO	Sweet Woodruff	Galium odoratum	4" pot	36" dia
1	LN	Beacon Silver Lantana	Lantana maculata 'Beacon Silver'	4" pot	36" dia
16	TP	Red Creeping Thyme	Thymus praecox 'Coccinea'	4" pot	36" dia
4	PS	Emerald Blue Creeping Phlox	Phlox subulata 'Emerald Blue'	4" pot	36" dia

**LANDSCAPE LEGEND**



**PLANT LEGEND**



**CALLOUT LEGEND**

- 1 OPEN AREA FOR SNOW STORAGE - SNOW STORAGE PROVIDED 33% OF SQUARE FOOTAGE OF DRIVE AND PARKING = 9,151 SF\*33%=1,042 SF. SNOW STORAGE PROVIDED = 1,042 SF
- 2 EXISTING DOCK, SAVE AND PROTECT
- 3 EXISTING FLAGSTONE, SAVE AND PROTECT
- 4 EXISTING STONE WORK, SAVE AND PROTECT
- 5 RELOCATED STONE STAIRS
- 6 THYME ORGANIC 'PATIO'
- 7 BOLLER CANTILEVER BENCH, SEE DETAIL 4.1.5

**PROJECT SITE DATA**

A. TOTAL SITE AREA	10,330 S.F. (7.42 acres)
B. DEVELOPMENT AREA	6,971 S.F. (2.02 acres)
C. DEVELOPMENT DENSITY	2.56 DU/ACRE
D. AREA OF PROPOSED STREETS, SIDEWALKS, AND DRIVEWAYS	0 S.F. (0 acres)
E. ESTIMATED PROPOSED ROOF AREA	0 S.F. (0 acres)
F. TOTAL PROPOSED IMPERVIOUS AREA	0 S.F. (0 acres)
G. TOTAL PROPOSED HARDY BLDG. HEIGHT	80%FTING
H. PROPERTY FRONTAGE - ROAD	281 L.F.
I. PROPERTY FRONTAGE - LAKE	106 L.F.



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**WOOD RESIDENCE**  
**901 YEW WOOD STREET**  
**MCCALL, IDAHO**  
**SITE PLAN/PRELIMINARY LANDSCAPE PLAN**

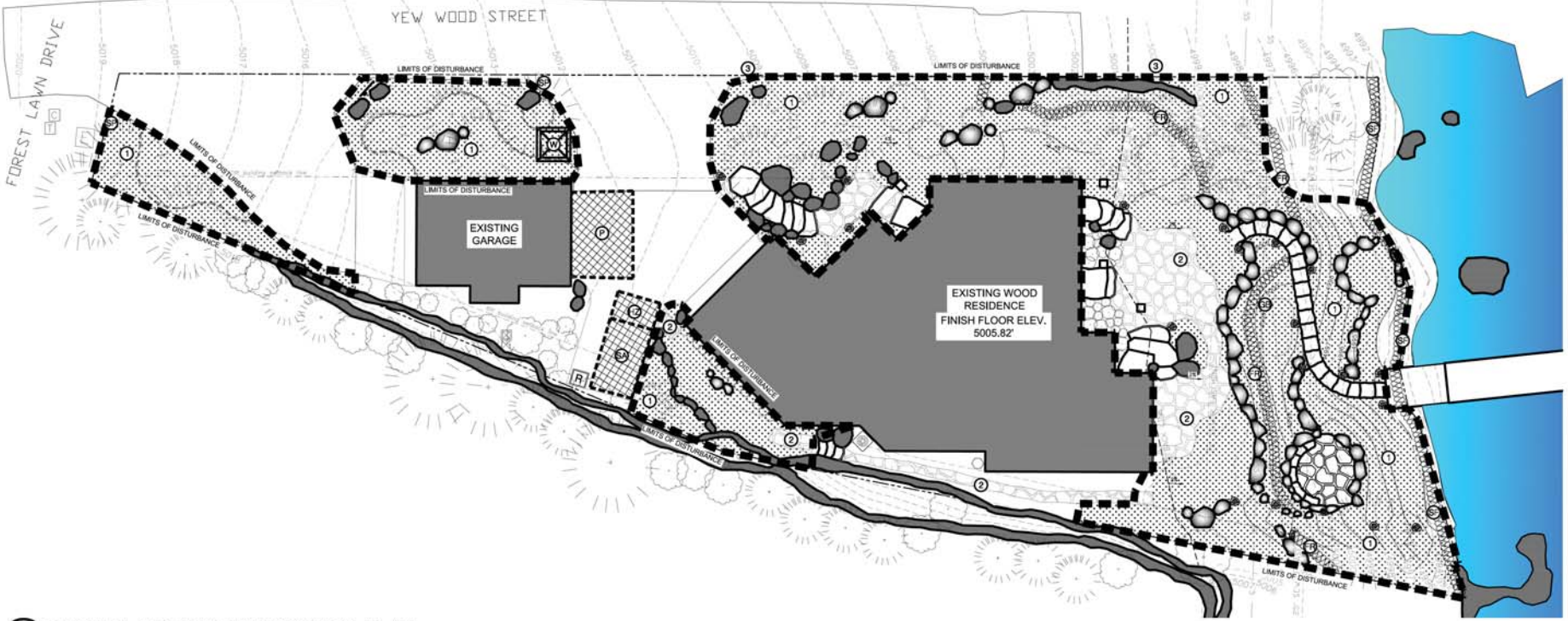


NO.	DATE	DESCRIPTION
1	11/15/17	200% PERMITS
2	11/15/17	PERMITS
3	11/15/17	PERMITS
4	11/15/17	PERMITS

REVISION:  
 PROJECT NO.: 17164  
 DRAWN BY: JRB  
 CHECKED BY: JRB  
 DATE: 12/22/2017  
 SHEET NUMBER: L2.1

DESIGN REVIEW





**EROSION AND SEDIMENT CONTROL PLAN**



**VICINITY MAP**  
NOT TO SCALE

**PROJECT DESCRIPTION**

- PURPOSE:** TO CONSTRUCT SITE IMPROVEMENTS AS SHOWN ON THE SITE CONSTRUCTION DRAWINGS PREPARED BY BRECKON LAND DESIGN, INC.
- LOCATION:** GENERALLY, THE SUBJECT PROPERTY IS LOCATED AT 401 YEW WOOD STREET, MCCALL, IDAHO 83608, IN A PORTION OF LOT 3 OF SECTION 5 TOWNSHIP 8 NORTH RANGE 3 EAST, BOISE MERIDIAN, VALLEY COUNTY, IDAHO. ON-SITE STORM WATER FROM THE AREA OF IMPACT WILL REMAIN ON SITE. STORM WATER FROM THE CITY RIGHT OF WAY WILL CONTINUE TO BE DIRECTED TO THE CITY STORM SEWER SYSTEM.
- DISTURBED AREA:** TOTAL DISTURBED AREA WILL BE APPROXIMATELY 21 ACRES. TOTAL PROPERTY SIZE IS APPROXIMATELY 42 ACRES.
- SITE DESCRIPTION AND DRAINAGE:** SEE STORMWATER MANAGEMENT PLAN, SHEET L3.1 FOR ADDITIONAL INFORMATION.

**DISCLAIMER:**

THESE SITE DISTURBANCE PLANS HAVE BEEN PREPARED FOR THE CONTRACTOR UNDER IN FULL COMPLIANCE WITH THE GOVERNING AUTHORITY'S SITE DISTURBANCE ORDINANCE. THE REQUIRED REGULATORY ITEMS HAVE BEEN INCORPORATED INTO THIS PARTICULAR PROJECT IN GOOD FAITH. BRECKON LAND DESIGN, INC. CAN NOT BE HELD RESPONSIBLE FOR INACCURATE BASE INFORMATION PROVIDED BY OTHERS, UNACCEPTABLE CONSTRUCTION METHODS, OR SITE MODIFICATIONS MADE WITHOUT CONSULTING BRECKON LAND DESIGN, INC. ALL LIABILITY WILL BE ASSUMED BY THE CONTRACTOR/OWNER IF A FINAL INSPECTION OF THE PROJECT HAS NOT BEEN RESPONDED BY BRECKON LAND DESIGN, INC. AND IDENTIFIED DEFICIENCIES CORRECTED BY THE CONTRACTOR/OWNER.

Disturbance and Sediment Control Plan Inspection, Maintenance, and Repair Program	BMF	Inspection Frequency	Non-Rainy	Heavy Rain	Inspection/Repair Measures
Silt Fencing	Minor	As needed	As needed	As needed	Prevent/Repair as needed
Water Control	Minor	As needed	As needed	As needed	Prevent/Repair as needed
Vegetation and Erosion Control	Minor	As needed	As needed	As needed	Prevent/Repair as needed
Equipment Parking	Minor	As needed	As needed	As needed	Prevent/Repair as needed
Material Storage	Minor	As needed	As needed	As needed	Prevent/Repair as needed
Material Handling and Storage	Minor	As needed	As needed	As needed	Prevent/Repair as needed
Soil Preservation	Minor	As needed	As needed	As needed	Prevent/Repair as needed
Construction Management	Minor	As needed	As needed	As needed	Prevent/Repair as needed
Stormwater Management	Minor	As needed	As needed	As needed	Prevent/Repair as needed

**EROSION AND SEDIMENT CONTROL NOTES**

- ALL BMP'S SHALL CONFORM TO THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES MANUAL.
- CONTRACTOR SHALL HAVE PLANS AT HORISKE STAMPED "APPROVED FOR CONSTRUCTION" BY THE CITY OF MCCALL, PUBLIC WORKS DEPARTMENT.
- ANY CHANGE FROM THE PLANS SHALL BE APPROVED BY THE DESIGNER AND THE GOVERNING AGENCIES AS APPLICABLE.
- CONTRACTOR SHALL CONTACT DISLINE TO 2 HOURS PRIOR TO ANY EXCAVATION (400-342-3668) AND THE AGED SUPPLEMENTAL SPECIFICATION. NO EXCEPTIONS TO DISTRICT POLICY, STANDARDS, AND THE SPRING WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE DISTRICT AND THE IDAHO TRANSPORTATION DEPARTMENT (ITD).
- THIS DRAWING HAS BEEN PREPARED BASED UPON INFORMATION PROVIDED IN PART BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, BRECKON LAND DESIGN, INC. CANNOT ASSURE ITS ACCURACY AND THIS IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS DRAWING OR FOR ANY RECORDS OR DRAWINGS WHICH MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT. BRECKON LAND DESIGN, INC. ASSUMES NO LIABILITY FOR ANY MISINFORMATION.
- RESPONSIBLE PERSONNEL SHALL BE RESPONSIBLE TO MAKE FIELD ADJUSTMENTS AS NECESSARY TO ACCOMMODATE CONSTRUCTION ACTIVITIES AND MEET ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.
- ALL ACCESS POINTS USED FOR CONSTRUCTION FROM THE SITE TO PUBLIC DEVELOPED ROADS SHALL BE STABILIZED AS PER BMP #8. SEE DETAIL.
- ANY SEDIMENT WHICH ENTERS EXISTING DRAINAGE INLETS OR THE DRAINAGE SYSTEM SHALL BE REMOVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAIN INLETS ADJACENT TO AND DOWN DRAINAGE OF THE SITE AS REQUIRED TO REMOVE SEDIMENT.
- MAINTAIN OPTIMUM SOIL MOISTURE AS NECESSARY TO PREVENT DUST EROSION.
- ONLY DISTURB GRASS OR GRADE AREAS NECESSARY FOR CONSTRUCTION. PLANS OR OTHERWISE DELINEATE AREAS NOT TO BE DISTURBED. EXCLUDE VEHICLES AND CONSTRUCTION EQUIPMENT FROM THESE AREAS TO PRESERVE NATURAL VEGETATION.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE PREPARED AND HYDROSEDED. A DISTURBED AREA SHALL BE WHERE CONSTRUCTION ACTIVITIES INCLUDING TRENCHING, DITCHING, EXCAVATING, MATERIALS STORAGE, STAGING AND PARKING OR ANY OTHER FORM OF EXCAVATION, CONSTRUCTION OR TRAFFIC THAT RESULTS IN THE REMOVAL OR DISPLACEMENT OF EXISTING VEGETATION.
- HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2000 # PER ACRE. USE AN ORGANIC FERTILIZER AT NO LESS THAN 300 WAGRE OR PER MANUFACTURER'S RECOMMENDATION. IF HIGHER APPLICATION OF FERTILIZER SHALL BE HEAVIER AT EDGES, IN VALLEYS, AND AT CRESTS OF BANKS AND OTHER AREAS WHERE NEED CAN BE NOTED BY AND OR WATER. PRIOR TO PROJECT COMPLETION ACCEPTANCE, ALL DISTURBED AREAS WILL BE INSPECTED FOR PROPER TURF ESTABLISHMENT.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTS/COLE MATERIAL, AND STUMPED OF TOPPED.
- TOP SOIL SHALL BE STOCK PILED ON SITE COORDINATE WITH OWNER FOR EXACT LOCATION. NO TOP SOIL SHALL BE REMOVED FROM SITE.
- ALL STORM WATER SHALL BE CONTAINED ON SITE.
- CREATIONS IS NOT EXPECTED FOR THIS SITE.
- HORSHAN SHALL PARK IN THE AREA DESIGNATED FOR HORSHAN PARKING OR OFF SITE TO HELP MAINTAIN DRY AND WET TRACKS.
- SOIL THAT WILL BE EXPOSED FOR TWO OR MORE WEEKS SHALL BE STABILIZED BY EITHER MULCHING, HYDROSEEDING OR OTHER APPROVED METHODS.
- PROVIDE PASTE CONTAINERS FOR BULKY MATERIALS IN WASTE STORAGE CONTAINER AREA. DISPOSE AT A FREQUENCY ACCORDING TO CONTAINER SIZE.

**EROSION & SEDIMENTATION CONTROL LEGEND**

	SILT FENCE OR FIBER ROLL. INSTALL AS INDICATED PER THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES.
	STABILIZED ENTRANCE. PRIOR TO CONSTRUCTION INSTALL AND MAINTAIN 50 FEET OF 6" MINUS PITCH ROAD ALONG INDICATED PER THE STATE OF IDAHO CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES BMP #15. THIS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL BASE MATERIAL IS INSTALLED. PROVIDE SWEEPING DAILY, OR AS NEEDED TO REMOVE ANY TRACKING OF MUD AND/OR DIRT ONTO EXISTING ASPHALT.
	CONCRETE WASHOUT LOCATION. PER DETAIL.
	HAZARDOUS MATERIALS STORAGE AREA WITH SPILL KIT AND HAZARDOUS CONTAINER.
	CONTRACTOR PARKING AREA.
	STAGING AREA FOR EQUIPMENT AND MATERIAL STORAGE.
	POST EROSION CONTROL AND STORM WATER MANAGEMENT SIGN.
	INFLOW CHECK DAM AT FLOOR LINE OF DRAINAGE DITCH AT THIS LOCATION. SEE DETAIL.
	INFLOW GRAVEL BAG AT FLOOR LINE OF DRAINAGE AT THIS LOCATION.
	PORTABLE RESTROOM LOCATION.
	SURVEY BENCHMARK.
	DRAINAGE FLOW DIRECTION.
	GRADE BREAK LINE.
	PROPOSED CONTOURS.
	EXISTING CONTOURS.
	CONSTRUCTION LIMITS, EXTENTS OF SITE DISTURBANCE.
	PROPOSED LAWN AND LANDSCAPING AREAS. SEE SHEET L3.1.
	STAGING AREA.
	STABILIZED CONSTRUCTION ENTRANCE.

**CALLOUT LEGEND**

- PROPOSED LAWN AND LANDSCAPING AREAS.
- EXISTING PAVED PAVES AND IMPERVIOUS AREAS FINAL STABILIZATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ANY ADJACENT DOWNSTREAM INLETS THAT COULD BE POTENTIALLY IMPACTED BY THESE CONSTRUCTION ACTIVITIES AND INSTALL INLET PROTECTION AS SPECIFIED.

**GENERAL NOTES**

- CONTRACTOR SHALL HAVE PLANS AT HORISKE STAMPED "APPROVED FOR CONSTRUCTION" BY THE CITY OF MCCALL, PUBLIC WORKS DEPARTMENT.
- ALL CONSTRUCTION IN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE SPW. NO EXCEPTIONS TO THE IS PAC. FILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE DISTRICT.
- SEE GRADING AND DRAINAGE PLANS FOR SUPPLEMENTAL INFORMATION.
- ALL BASE EROSION HEADRESTS (ELET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ELET) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- CONSTRUCTION ACTIVITIES SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL HEADRESTS INCLUDING, BUT NOT LIMITED TO, STREET SHEETING, AND VALETS, MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- EROSION AND RUN-OFF CONTROLS SHALL BE IN PLACE AND FUNCTIONING PRIOR TO BEGINNING SUBSTANTIAL CONSTRUCTION ACTIVITIES. RUN-OFF AND RUN-OFF CONTROL HEADRESTS INCLUDE SLOPE DRAINS WITH OUTLET PROTECTION, CHECK DAMS, BANKS, DITCHES, AND BANK STABILIZATION.



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WOOD RESIDENCE  
901 YEW WOOD STREET  
MCCALL, IDAHO

EROSION AND SEDIMENT CONTROL PLAN



PROJECT NO.: 17164  
DRAWN BY: CV  
CHECKED BY: JB  
DATE: 12/22/2017

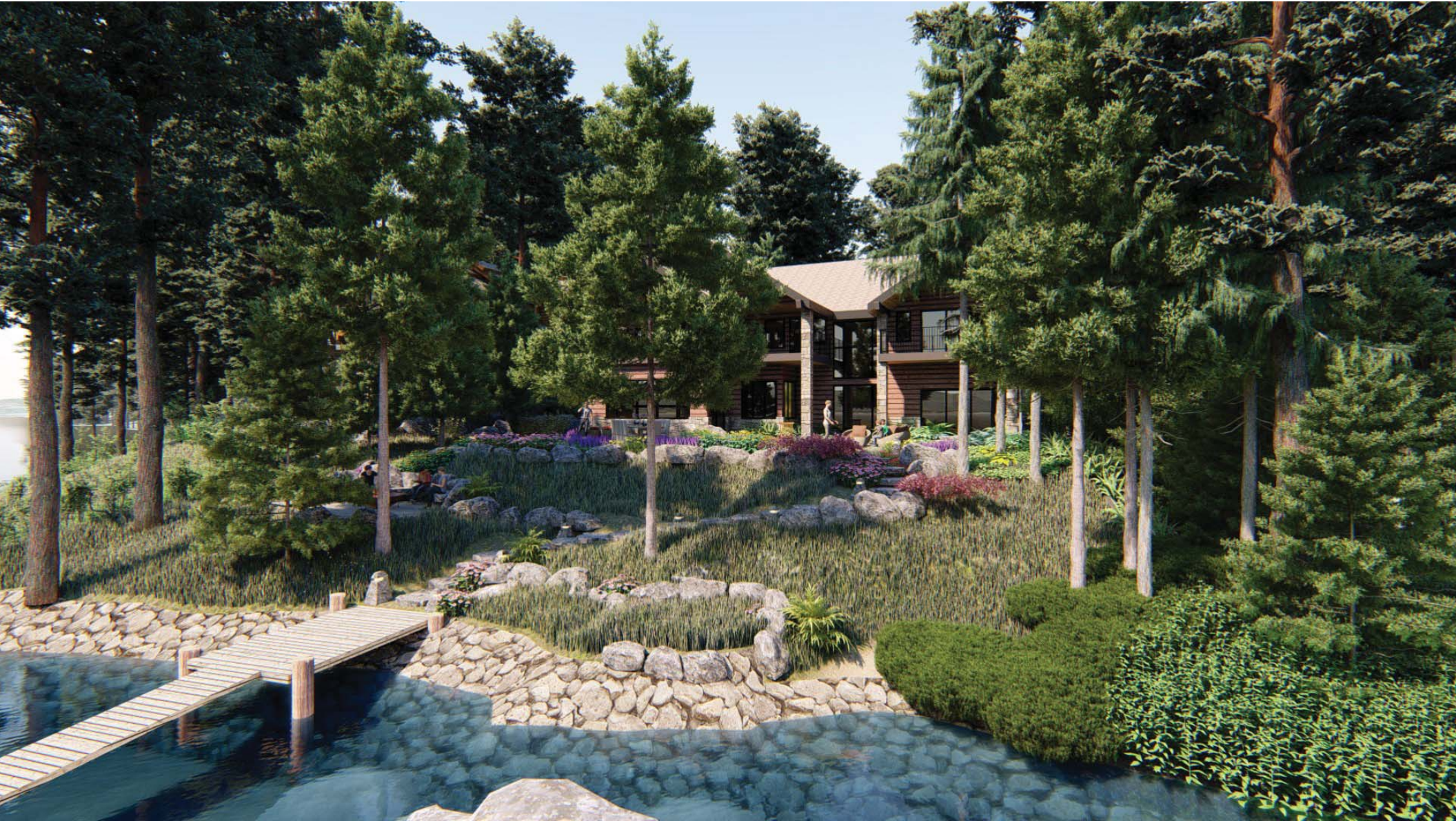
SHEET NUMBER  
L3.1

DESIGN REVIEW



















**McCall Area Planning and Zoning Commission  
Staff Report**

**DR-18-02, ROS-18-18**

*304 Placid St.  
Withen Addition*

February 6, 2018

Applicant: Diane and Patrick Withen  
Agent: Bennett Childs  
Application: Design Review and Lot Combination  
Zoning: R4 – Low Density Residential

---

**Description**

Record of Survey and Design Review applications to combine two existing lots of record into a single parcel of approximately 0.65 acres to allow greater lot coverage and to construct a 3,600 sq. ft. garage and sun room addition on an existing residence.

**Code Narrative**

**3.16.02: APPLICABILITY:**

Design review approval is required for any development that is a commercial, business park, industrial, public or semipublic (including private clubhouses or recreational facilities) development, all developments within the CV, AF, or AP zones, accessory dwelling unit, multi-family residential project of two (2) or more units, *or single-family dwelling units with total living area greater than three thousand five hundred (3,500) square feet within the city of McCall* and the area of city impact.

**3.11.03: NONCONFORMING STRUCTURES:**

(A) No such nonconforming structure may be enlarged or altered in a way which increases the nonconformity, but any structure or portion thereof may be altered to decrease its nonconformity.

**Comments**

*Agency –*

Central District Health Department (CDHD)

In a review sheet dated October 30, 2017, CDHD stated they had no objections to the application, provided the residence is connected to City services.

McCall Fire

In an email dated October 30, 2017, McCall Fire stated that they had no comments on the application.

City Arborist

In an email dated October 30, 2017, the City Arborist stated it was difficult to tell from the submitted materials whether any significant trees would be negatively affected.

## Payette Lake Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the January 9, 2018 McCall Area Planning and Zoning Commission meeting date. In a letter dated November 1, 2017, PLRWSD stated the following:

1. There is a sewer service connection the existing structure in the area of construction, the sewer service connection shall be protected from damage during construction of the proposed structure to prevent excessive water, or debris from entering the sewer system. Failure to do so will result in the owner/contractor being responsible for any cost incurred by the District for cleaning or removing debris that enters the sewer system.
2. The plans show a floor drain in the proposed garage, which is NOT allowed to be connected to the sewer system. Inflows of surface water and excessive infiltration are prohibited. Such prohibited sources of inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day. Storm water connection, sub-water drains, floor drains located within garages, foundation drains, roof drains, swimming pools, street drains, basement drains, sump pumps and abandoned sewer lines.

## City Engineer

In an email dated January 24, 2018, the City Engineer stated the following:

1. It should be confirmed with the building permit plans that no utility conflicts are created and that the building addition is not placed over any existing utility lines.
2. The applicant has indicated that the revised building addition and driveway layout will result in a total impervious area of less than 5,000 square feet on the site. Therefore, permanent best management practices (BMPs) will not be required on the project. The applicant has indicated that they will provide an erosion control plan to provide temporary BMPs during construction with the building permit.
3. The applicant has indicated that they will provide a signed stormwater application and formal stormwater drainage report with the building permit.
4. Field verification that all erosion control and stormwater management components have been implemented will be made by the City's building official and will be a condition of receiving the final certificate of occupancy.
5. It has been agreed that the existing driveway north of the tree (leading to the existing two car garage) will remain in place and will not be expanded or enlarged. A second new driveway to the south of the tree will be installed at an approximate width of 10 to 12 feet. During winter months, the City will not keep the second driveway open and will have the right to utilize all area within the ROW and south of the tree for snow plowing and snow storage. If the applicant wishes to open this driveway in the winter months, the snow stored in the ROW must be moved on to the applicant's property and not pushed/moved to any other location within the City ROW. This agreement will be formalized in the Public Works Permit that will be required for construction of the new driveway prior to issuance of a building permit.

*Public* – No public comments have been received to date.

## **Commission Findings**

The Commission hereby makes the following findings:

1. The project is in general conformance with the Comprehensive Plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable specifications outlined in the City of McCall Design Guidelines as well as all other applicable requirements of the Zoning.

## **Conditions of Approval**

1. Prior to issuance of a building permit, the applicant shall record the associated record of survey and provide confirmation from the Valley County Assessor's Office of the lot combination.
2. Prior to issuance of a building permit, the applicant shall submit a tree protection plan for approval by the City Arborist demonstrating how the large ponderosa located in the City Right-of-Way in front of the garage will be protected during construction.
3. Prior to issuance of a building permit, the applicant shall submit lighting details that demonstrate that any proposed fixtures comply with McCall's Outdoor Lighting Ordinance 3.14.
4. Prior to issuance of a building permit, the applicant shall provide an erosion control plan, a formal stormwater drainage report, and receive final engineering approval (see agency comments above).
5. Prior to issuance of a building permit, the applicant shall receive approval from Payette Lakes Recreational Water and Sewer District (see agency comments above).
6. All utilities extended to the addition are required to be located underground.
7. Prior to issuance of a Certificate of Occupancy, all disturbed areas shall be revegetated with plant species approved as Native or Suitable Plants by the City of McCall.
8. Pursuant to McCall City Code (MCC 3.16.08), design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.



IN RE: )  
)  
Withen Addition ) **McCALL AREA PLANNING AND ZONING COMMISSION**  
Design Review ) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**  
) **DECISION**  
)  
)  
Application Number: )  
DR-18-02 )

**FINDINGS OF FACTS**

**Applicant:** Diane and Patrick Withen

**Representative:** Bennett Childs

**Application:** A Design Review application to construct a 3,600 sq. ft. garage and sun room addition on an existing residence.

**Address:** 304 Placid St.

**Location:** Lots 8, 9, and 10, Hidden Subdivision, situate in NE1/4, NW1/4, Section 16, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

**Public Notice:** Newspaper: The Notice of Hearing was published in the *Star News* on December 21, 2017.

Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on November 28, 2017.

Posting: The Notice of Hearing was posted by the applicant on the subject property on November 28, 2017.

**Zoning:** R4 – Low Density Residential

**Property Size:** 24,085 sq. ft. (0.553 acres)

**Lot Coverage:** 5,377.75 sq. ft. (97% of allowable)

**Building Height:** 32 ft. 10 5/8 in.

**Setbacks:** An existing residential structure on Lot 9 & 10 is situated 61.2 feet from the new northerly side property line, and 14.5 feet from the front (easterly) property line. Per McCall City Code 3.3.03, the front setback from the street is twenty (20 ft.), therefore, 5.5 ft. of the existing structure is non-conforming. A garage addition is proposed that will be situated 20 ft. from the front (easterly) property line and 30 ft. from the southerly side property line. The sunroom addition will be located 12 ft. from the rear (westerly) property line.

**Parking Spaces:**

Provided: 4+ spaces

Required: 2 spaces per MCC 3.8.062

**APPROVAL STANDARDS**

**Title 3, Chapter 16**

**Design Review**

**The commission or administrator shall determine the following before approval is given:**

- 1. The project is in general conformance with the comprehensive plan.**
- 2. The project does not jeopardize the health, safety or welfare of the public.**
- 3. The project conforms to the applicable specifications outlined in the "City Of McCall Design Guidelines", incorporated by reference herein, as well as all other applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the city of McCall. Please see the review of the Design Guidelines below.**

**DESIGN GUIDELINES**

**General Guidelines**

- 1. Building Scale:** The structure is large in scale.
- 2. Pedestrian Character:** The front of the residence is oriented in a pedestrian friendly manner.

3. **Blank Walls:** The street fronting walls are not blank and utilize windows and doors to break up the mass.
4. **Storefront:** NA
5. **Parking:** Adequate parking is provided pursuant to McCall City Code 3.8.032.

### **Guidelines for All Projects**

#### **Site Planning**

1. **Building Siting:** The building is large in scale but preserves the predominate features of the site.
2. **Adjacent Buildings and Uses:** The proposed project is compatible with adjacent residential uses.
3. **Preserve Vegetation and Wildlife:** No significant vegetation or wildlife area will be disturbed.
4. **Preserve Views:** The proposed project will not impede view of significant features.
5. **Preserve Skylines:** This property is not located on a ridge or near a skyline.
6. **Preserve Natural Drainage:** The applicant will provide an erosion control plan to provide temporary BMPs during construction as well as a formal stormwater drainage report prior to issuance of a building permit.
7. **Cluster Buildings:** NA
8. **Street Alignment:** The existing driveway will remain. In addition, the applicant has proposed as extension of the drive to the south of the Ponderosa Pine located within the right-of-way.
9. **Retaining Walls:** No retaining walls are proposed.
10. **Snow Storage:** The site includes adequate snow storage areas.
11. **Roof Design and Snow:** The new roof reduces the non-conformance of the garage by 45 sq. ft.
12. **Use the Sun:** The garage has not been designed to utilize sunlight, however, an addition of a sunroom takes advantage of natural light.
13. **Screen Service Areas:** N/A

14. **Off-Street Parking:** N/A
15. **On-Site Parking:** Adequate on-site parking is provided for the residential use.
16. **Circulation Needs – Pedestrian and Vehicles:** N/A

#### **Architecture**

1. **Enhance McCall Classic Styles:** The design of the structure includes use of natural hues and materials to reference McCall’s classic styles.
2. **Minimize Scale:** The scale of the proposed structure is large.
3. **Building Additions:** The proposed roof extensions of the existing residence are designed to be compatible with the existing building.
4. **Roof Lines:** The proposed roof lines are compatible with the proposed building form and reduce the existing garage’s non-conformance.
5. **Mechanical Equipment:** N/A
6. **Multi-Unit Structures:** N/A
7. **Balconies and Porches:** The proposed project has minimal porches and balconies.
8. **Exterior Doorways:** Exterior doors are located in a manner that complements the design of the building.
9. **Wall Materials:** The proposed wall material will match the existing residential structure, including wood siding.
10. **Shop Front Design:** N/A
11. **Wall Colors:** The applicant proposed to utilize natural tones.

#### **Landscaping and Site Design**

1. **Light Fixtures:** No exterior lighting fixtures are proposed. Prior to issuance of a building permit, the applicant shall provide lighting details that demonstrate that any proposed fixtures comply with McCall’s Outdoor Lighting Ordinance 3.14.

2. **Fences and Walls:** No walls or fences are proposed.
3. **Paving and Streetscapes:** N/A
4. **Landscaping Plan:** No landscaping plan has been proposed. All disturbed areas must be revegetated with plant species approved by the City of McCall as Native and Suitable Plants.
5. **Site Conditions for Landscaping:** Site conditions have been considered.
6. **Lawn Area:** No additional lawn area is proposed.
7. **Plants as Screening:** Minimal screening is present or proposed.
8. **Utility Installations:** The utilities being extended to serve the new garage structure will be installed underground.
9. **Screen Parking Lots:** N/A
10. **Irrigation System Required:** N/A
11. **Retain Existing Vegetation:** Existing vegetation, especially mature trees, are required to be protected as much as possible during construction.
12. **Preserve Existing Trees:** Prior to issuance of a building permit, the applicant shall submit a tree protection plan demonstrating how the large ponderosa located in the City Right-of-Way in front of the garage will be protected during construction.
13. **Grading and Drainage:** The applicant will provide an erosion control plan to provide temporary BMPs during construction as well as a formal stormwater drainage report prior to issuance of a building permit.
14. **Maintenance:** N/A
15. **Sidewalks:** Placid St. is not proposed to have sidewalks or separated bike paths within the Pathways Master Plan.
16. **Bike Paths:** Placid St. is not proposed to have sidewalks or separated bike paths within the Pathways Master Plan.

## **DEPARTMENT/AGENCY COMMENTS**

### Central District Health Department (CDHD)

In a review sheet dated October 30, 2017, CDHD stated they had no objections to the application, provided the residence is connected to City services.

### McCall Fire

In an email dated October 30, 2017, McCall Fire stated that they had no comments on the application.

### City Arborist

In an email dated October 30, 2017, the City Arborist stated it was difficult to tell from the submitted materials whether any significant trees would be negatively affected.

### Payette Lake Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the January 9, 2018 McCall Area Planning and Zoning Commission meeting date. In a letter dated November 1, 2017, PLRWSD stated the following:

1. There is a sewer service connection the existing structure in the aera of construction, the sewer service connection shall be protected from damage during construction of the proposed structure to prevent excessive water, or debris from entering the sewer system. Failure to do so will result in the owner/contractor being responsible for any cost incurred by the District for cleaning or removing debris that enters the sewer system.
2. The plans show a floor drain in the proposed garage, which is NOT allowed to be connected to the sewer system. Inflows of surface water and excessive infiltration are prohibited. Such prohibited sources of inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day. Storm water connection, sub-water drains, floor drains located within garages, foundation drains, roof



drains, swimming pools, street drains, basement drains, sump pumps and abandoned sewer lines.

City Engineer

In an email dated January 24, 2018, the City Engineer stated the following:

1. It should be confirmed with the building permit plans that no utility conflicts are created and that the building addition is not placed over any existing utility lines.
2. The applicant has indicated that the revised building addition and driveway layout will result in a total impervious area of less than 5,000 square feet on the site. Therefore, permanent best management practices (BMPs) will not be required on the project. The applicant has indicated that they will provide an erosion control plan to provide temporary BMPs during construction with the building permit.
3. The applicant has indicated that they will provide a signed stormwater application and formal stormwater drainage report with the building permit.
4. Field verification that all erosion control and stormwater management components have been implemented will be made by the City's building official and will be a condition of receiving the final certificate of occupancy.
5. It has been agreed that the existing driveway north of the tree (leading to the existing two car garage) will remain in place and will not be expanded or enlarged. A second new driveway to the south of the tree will be installed at an approximate width of 10 to 12 feet. During winter months, the City will not keep the second driveway open and will have the right to utilize all area within the ROW and south of the tree for snow plowing and snow storage. If the applicant wishes to open this driveway in the winter months, the snow stored in the ROW must be moved on to the applicant's property and not pushed/moved to any other location within the City

ROW. This agreement will be formalized in the Public Works Permit that will be required for construction of the new driveway prior to issuance of a building permit.

#### **CONCLUSIONS OF LAW**

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.
2. Adequate notice of the January 9, 2018 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

#### **DECISION**

**THEREFORE**, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review application, provided that the following conditions are met:

1. Prior to issuance of a building permit, the applicant shall record the associated record of survey and provide confirmation from the Valley County Assessor's Office of the lot combination.
2. Prior to issuance of a building permit, the applicant shall submit a tree protection plan for approval by the City Arborist demonstrating how the large ponderosa located in the City Right-of-Way in front of the garage will be protected during construction.
3. Prior to issuance of a building permit, the applicant shall submit lighting details that demonstrate that any proposed fixtures comply with McCall's Outdoor Lighting Ordinance 3.14.
4. Prior to issuance of a building permit, the applicant shall provide an erosion control plan, a formal stormwater drainage report, and receive final engineering approval (see agency comments above).
5. Prior to issuance of a building permit, the applicant shall receive approval from Payette Lakes Recreational Water and Sewer District (see agency comments above).
6. All utilities extended to the addition are required to be located underground.

7. Prior to issuance of a Certificate of Occupancy, all disturbed areas shall be revegetated with plant species approved as Native or Suitable Plants by the City of McCall.
8. Pursuant to McCall City Code (MCC 3.16.08), design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Findings of Fact **adopted** this 6<sup>th</sup> day of February, 2018.

---

Fallon Fereday, Chair  
McCall Area Planning and Zoning Commission

Attest:

---

Morgan Bessaw, City Planner  
City of McCall

**IN RE:** )  
 )  
**Withen Combination** ) **McCALL AREA PLANNING AND ZONING COMMISSION**  
**Record of Survey** ) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**  
 ) **DECISION**  
 )  
 )  
**Application Number:** )  
**ROS-18-18** )

**FINDINGS OF FACTS**

**Applicant:** Diana and Patrick Withen

**Representative(s):** Droulard Land Surveying Inc.

**Application:** Record of Survey combine two existing lots of record into a single parcel of approximately 0.65 acres.

**Location:** Lot 8 and recently combined Lots 9 and 10, Hidden Subdivision, situate in NE1/4, NW1/4, Section 16, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

**Property Address:** 304 Placid St.

**Public Notices:** This application was placed on the McCall Area Planning and Zoning Commission’s consent agenda, thereby waiving public noticing requirements. This was done pursuant to McCall City Code section 9.1.05.B.2, which states that the administrator may waive the application of some provisions.

**Zoning:** R4 – Low Density Residential

**Property Size:** The proposed Record of Survey combines existing Lot 9 & 10 (19,807 sq. ft.), with Lot 8 (4,278 sq. ft.), thereby creating a combined parcel of 24,085 sq. ft. (0.553 acres)

**Setbacks:** An existing residential structure on Lot 9 & 10 is situated 61.2 feet from the new northerly side property line, and 14.5 feet from the front (easterly) property line. Per McCall City Code 3.3.03, the front setback from the street is twenty (20

ft.), therefore, 5.5 ft. of the existing structure is non-conforming. A garage addition is proposed that will be situated 20 ft. from the front (easterly) property line and 30 ft. from the southerly side property line. The sunroom addition will be located 12 ft. from the rear (westerly) property line.

### **APPROVAL STANDARDS**

#### **Title 9, Chapter 1**

#### **Record of Survey**

**To be eligible for processing under the Record of Survey Procedure, an application for approval of a plat or survey must be signed by all owners and determined by the administrator to meet one or more of the standards set out below:**

- 1. Two (2) or more lots of record are being combined.** The application proposes to combine two existing lots of record.
- 2. Two (2) or more lots of record are shown, and lots are being combined and/or divided in such fashion that the lot sizes would be proper were the land the subject of a formal subdivision of no greater extent, and each lot or parcel within the proposed survey either meets lot street frontage, width and depth requirements of the applicable zone or is no less conforming in each such regard than are the lots of record.** The resulting combined parcel will meet the lot street frontage width and depth requirements of the R4 – Low Density Residential zone (MCC 3.3.03).

### **DEPARTMENT/AGENCY COMMENTS**

#### **Valley County Surveyor**

In a letter dated January 11, 2018, the County Surveyor provided the following comments:

1. Check the “17-??” in the title block.

2. In the title block, check the “portion of Lot 10” as it appears to be all of Lot 10.

McCall City Engineer

In an email dated January 24, 2018, the City Engineer provided the following comments:

1. Please update the current “Record of Survey 17-??” contained in the title block to “Record of Survey 18-08” and submit a revised PDF with the Mylar for signatures.
2. The digital files submitted have been reviewed and found to be in compliance with the City’s requirements.

Based on this review and the minor revision required as noted above, this email will provide conditional engineering approval for this ROS.

Payette Lakes Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the February 6<sup>th</sup> McCall Area Planning and Zoning Commission meeting date. In an email dated January 9, 2018 the district stated they had no comments on the application.

**CONCLUSIONS OF LAW**

1. The City of McCall has provided for the processing of Record of Survey applications, pursuant to Title 9, Chapter 1 of McCall City Code.
2. The proposed project is eligible for the Record of Survey process as a lot combination.
3. The proposed project meets the dimensional standards for lots in the R4, per Title 3, Chapter 3, McCall City Code.
4. Upon compliance with the conditions noted below, the application meets the Record of Survey Procedure requirements set forth in Title 9, Chapter 1 of McCall City Code.

**DECISION**

**THEREFORE**, the McCall Area Planning and Zoning Commission hereby **approves** this Record of Survey application, provided that the following conditions are met:



1. Prior to recordation, the applicant shall receive final engineering approval.
2. The applicant shall provide the City with a .PDF copy of the recorded survey immediately upon recordation.
3. To complete the Record of Survey, the applicant shall file the appropriate forms with the Valley County Assessor's office.
4. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.

Findings of Fact **adopted** this 6<sup>th</sup> day of February, 2018.

---

Fallon Fereday, Chair  
McCall Area Planning and Zoning Commission

Attest:

---

Morgan Bessaw, City Planner  
City of McCall

City of McCall  
216 East Park Street  
McCall, Idaho 83638  
P.208.634.7142

# LAND USE APPLICATION



Date Received: \_\_\_\_\_

Fees Paid: \_\_\_\_\_

### NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # ROS 18-08 Record of Survey (ROS) - \$420
- # \_\_\_\_\_ Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # \_\_\_\_\_ Scenic Route (SR) - \$300
- # \_\_\_\_\_ Shoreline or River Environs (SH) - \$300
- # \_\_\_\_\_ Conditional Use Permit (CUP) - \$600
- # \_\_\_\_\_ Administrative Approval (AA) - \$50
- # \_\_\_\_\_ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # \_\_\_\_\_ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # \_\_\_\_\_ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # \_\_\_\_\_ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # \_\_\_\_\_ Minor Plat Amendment - \$1,000
- # \_\_\_\_\_ Variance (VAR) - \$1,000
- # \_\_\_\_\_ Rezone (ZON) - \$1,500
- # \_\_\_\_\_ Zoning Code Amendment (CA) - \$750/title
- # \_\_\_\_\_ Annexation - \$3,000
- # \_\_\_\_\_ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

### PROPERTY OWNER INFORMATION

Property Owner 1: Diana Withen Email: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ Phone: 24293 VA  
Property Owner 2 (if Applicable): Patrick Withen Email: p \_\_\_\_\_  
Mailing Address: same as above Phone: \_\_\_\_\_ 7

### AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: Bennett Childs Email: \_\_\_\_\_  
Mailing Address: PO Box 1790 McCall ID 83638 Phone: 208-315-5531

### PROPERTY INFORMATION

Address(es) of Property: 304 Placid Street, McCall, ID  
Legal Description of Property: Hidden Subdivision, Block 1, Lot 528 and 9  
Zoning District of Property: RY Project Sq. Footage (if Applicable): 3630 added  
Impact Area  City Limits  Residential  Commercial

# LAND USE APPLICATION CONTINUED

## PROJECT DESCRIPTION

Explain the general nature of what is proposed: *(please attach supplemental information if needed)*

Combine S2 lot 8 + Lot 9 in the Hidden Subdivision

## SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

*I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.*

Patrick Withen

Property Owner 1

\_\_\_\_\_  
Signature

Diana Withen

Property Owner 2 (if applicable)

\_\_\_\_\_  
Signature

Bennett Childs

Agent/Authorized Representative

\_\_\_\_\_  
Signature

## FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

\_\_\_\_\_  
Surveyor

\_\_\_\_\_  
Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.

DEC 14 2017

BY: #1221 2

\$ 420.00

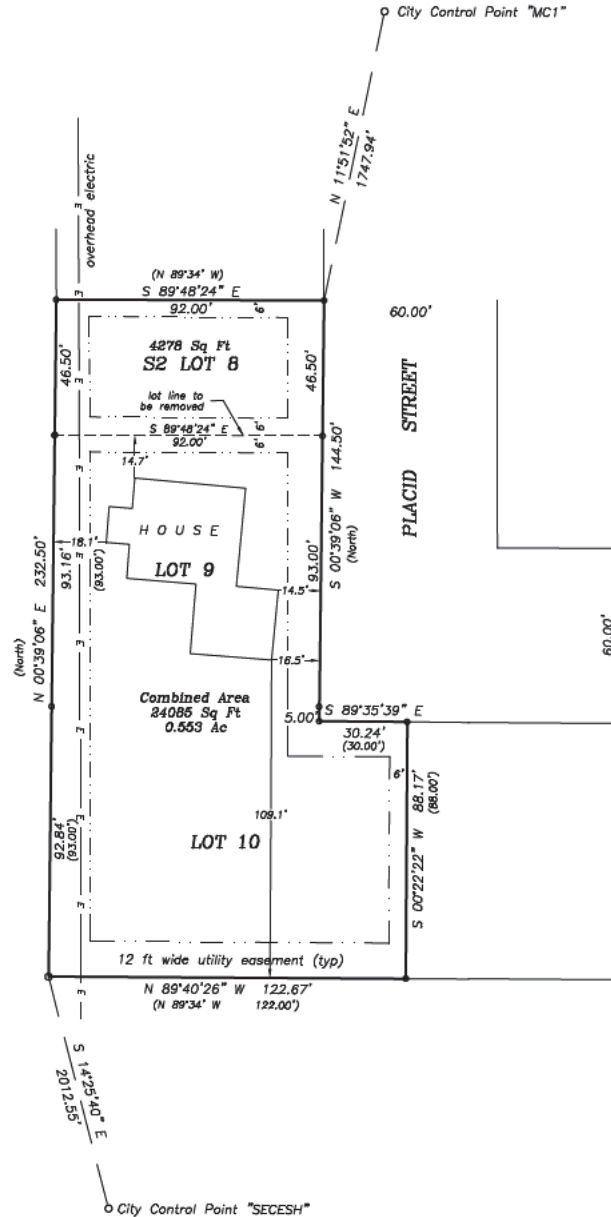


This Record of Survey has been reviewed and approved by the City of McCall with respect to its compliance with the Zoning Ordinance and exemption from formal platting; an individual lot shown on this Record of Survey shall be considered a single lot for purposes of City Ordinances. If this record of Survey combines lots shown on a plat or survey of record, separate sale of such separate lots will constitute an illegal subdivision under the McCall City Code.

Accepted and approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
by the City of McCall.

\_\_\_\_\_  
McCall City Clerk

Book \_\_\_\_\_ Page \_\_\_\_\_  
of Records of Survey



I, Joel W. Droulard, a Registered Land Surveyor, do hereby certify that this plat was prepared from notes taken during an actual survey made by me in June of 2017, and that it correctly represents the points, courses and distances as recorded in said field notes.



**LEGEND**

- o Found 5/8 inch dia. rebar
  - o Found 1/2 inch dia. rebar
  - ⊕ Found brass cap
  - Set 5/8" x 30" rebar w/plastic cap
  - Set 1/2" x 24" rebar w/plastic cap
  - ( ) Record data in parentheses
- Bearings based on State Plane Grid  
Distances shown are US Survey feet

**REFERENCE SURVEYS:**

- Plat of Hidden Subdivision, Book 4 Page 48
- Record of Survey #313052, Book 9 Page 96
- Record of Survey #408726, Book 13 Page 104



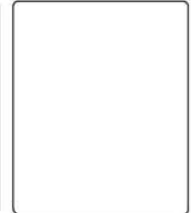
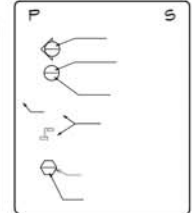
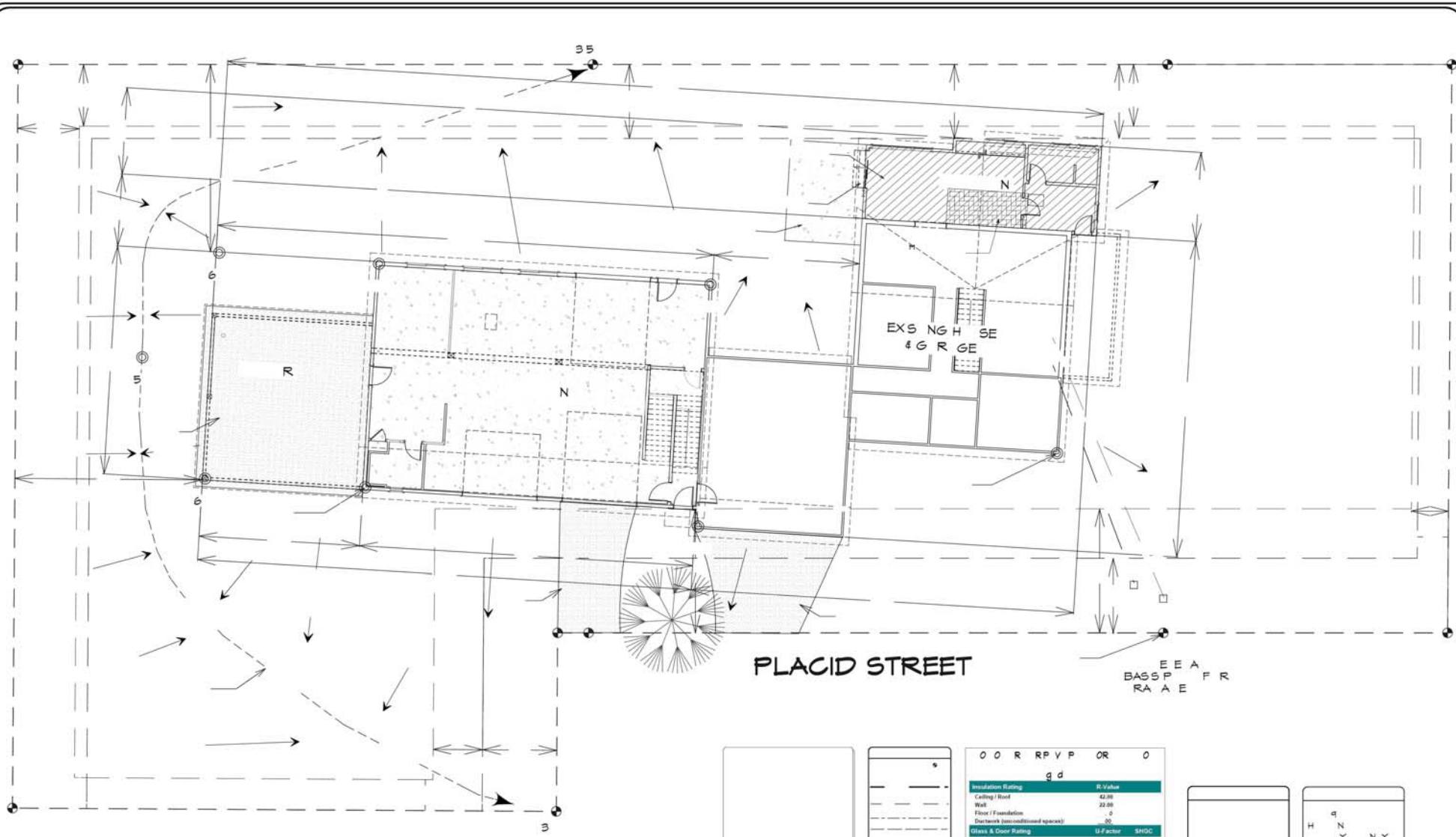
Droulard Land Surveying, Inc.  
P.O. Box 69  
McCall, Idaho, 83638  
208-630-3423  
www.Droulard.com  
joel@droulard.com

**LOT COMBINATION**

**RECORD OF SURVEY 17-??**

situate in NE4 of the NW4 of  
Section 16, T. 18 N., R. 3 E., B.M.,  
South 1/2 Lot 8, Lot 9, portion of Lot 10, Hidden Subdivision,  
Book 4, Page 48 of Plats, City of McCall, Valley Co., Id.

for  
**DIANA WITHEN**



A P B EASE E SARE  
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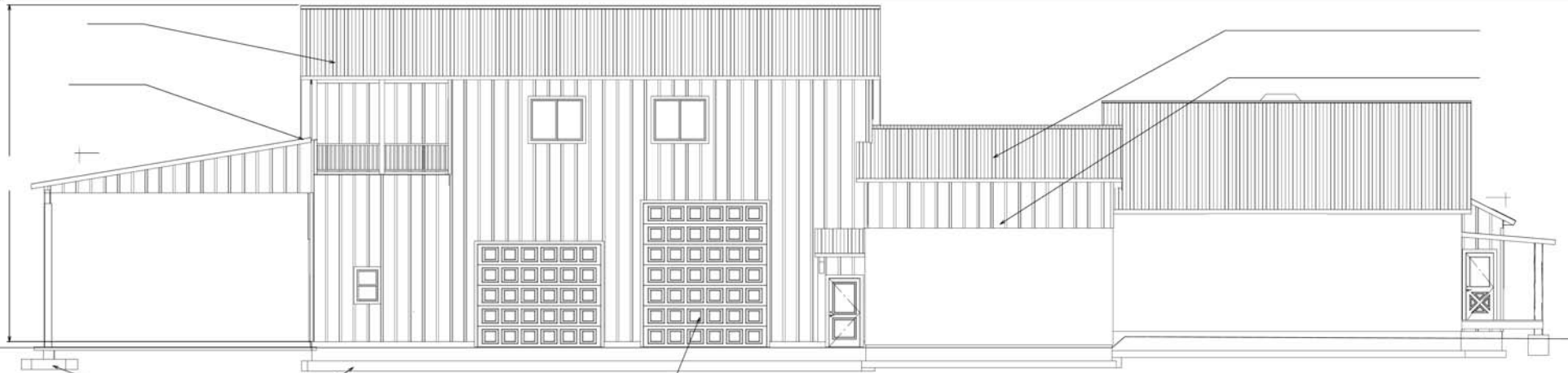
O O R R P V P O R O	
g d	
Insulation Rating	R-Value
Ceiling / Roof	42.00
Wall	22.00
Floor / Foundation	0
Overhang (unconditioned space)	0
Glazing & Door Framing	U-Factor SHGC
Window	0
Door	0.11 0.89
Heating & Cooling Equipment	
Furnace Heat Air Furnace	Efficiency
Electric Central Air Conditioner	17.00/100
Water Heater:	15.00/100
Name:	Date:
Comments:	



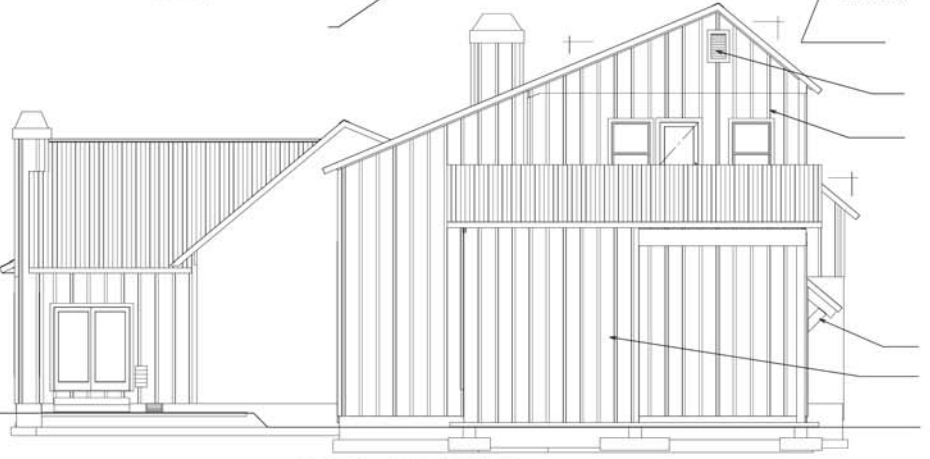
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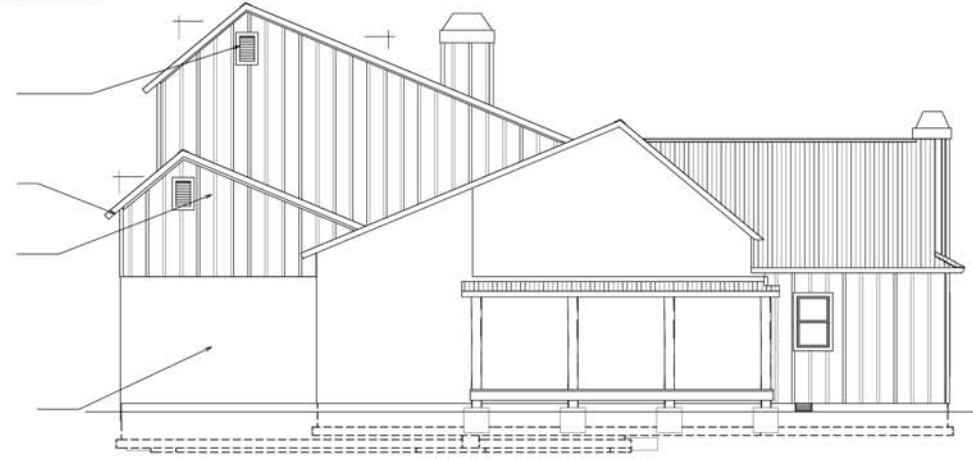




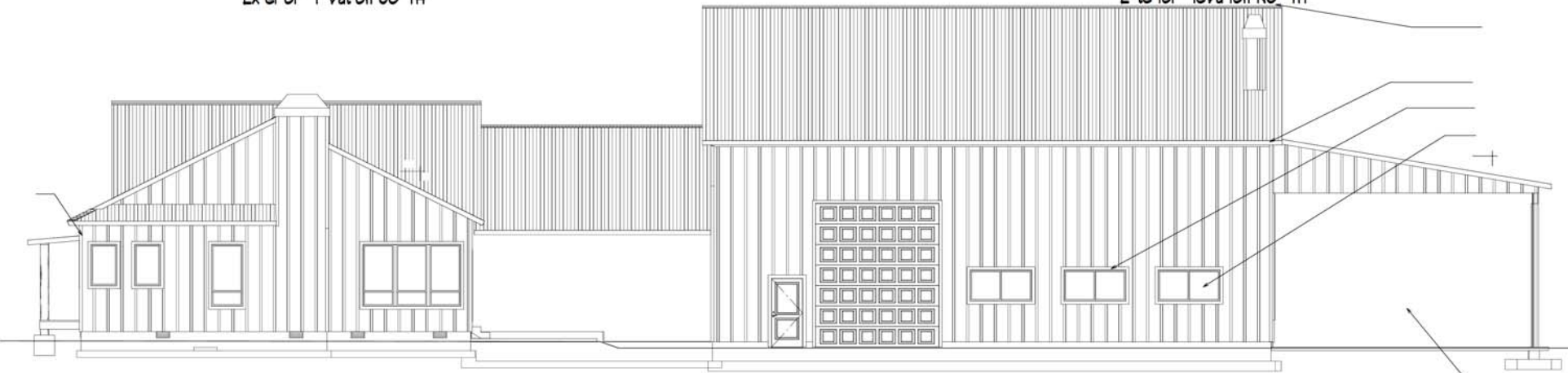
Exterior Elevation EAST



Exterior Elevation SOUTH



Elevation NORTH



Exterior Elevation WEST











**McCall Area Planning and Zoning Commission  
Staff Report**

**CA-18-01**

*McCall City / Impact Area Code Amendment  
Airport Hangar Use*

February 6, 2018

Applicant: City of McCall Airport  
Agent: City of McCall Airport Manager, Jay Scherer  
Application: Amendment to Airport Approved Uses, Hangar definition

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**Description**

A Zoning Ordinance Amendment application to include the definition of “Hangar” within the McCall City Code Title 3, Chapter 2 (MCC 3.2.02). In addition, this application proposes to include hangars as an approved use within the Airport Zone, McCall City Code Title 3, Chapter 6 (MCC 3.6.02). Currently the McCall City Code is silent to the use and definition of airport hangars, and subsequently, a hangar use at the Airport would require a Conditional Use Permit.

The proposed amendment defines a hangar as a building with the primary purpose of aircraft storage or maintenance and includes it as a directly permitted use within the Airport Zone.

**Background**

In 2006, the City of McCall and Valley County Board of Commissioners adopted the current Permitted and Conditionally Permitted Uses within Public Zones Table, MCC 3.6.02, which is silent to hangars as a land use. As outlined in the code, all uses not listed in table MCC 3.6.02 require review by the Commission as well as a conditional use permit.

Recently, the Airport was approached with a request to build a new hangar. It became apparent at that time that the McCall City Code did not include a definition of a hangar use and that such a use would require a conditional use permit. The idea behind this code amendment, is to encourage development that is consistent with the Airport Plan as well as the recently adopted McCall Area Comprehensive Plan, and to support, utilize, and recognize the airport as a contributor to McCall’s economy, tourism, transportation system, and as a unique asset connecting McCall to Idaho cities, backcountry, and beyond.

The City Attorney has reviewed the proposed amendment.

**Public Comments**

No public comments have been received in favor or opposition to the proposed ordinance amendment to date.



## ORDINANCE NUMBER XXX

AN ORDINANCE OF THE CITY OF McCALL, A MUNICIPAL CORPORATION OF THE STATE OF IDAHO, VALLEY COUNTY, IDAHO AMENDING MCCALL CITY CODE TITLE 3 CHAPTERS 2 AND 6; AMENDING SECTION 3.2.01 ADDING THE DEFINITION OF A HANGAR; AMENDING SECTION 3.6.02 *TABLE* PERMITTED AND CONDITIONALLY PERMITTED USES WITHIN PUBLIC ZONES ADDING HANGARS AS A PERMITTED USE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, an application for approval of zoning ordinance amendments, pursuant to MCC 1-1-3, was submitted by the City of McCall on December 18, 2017; and

WHEREAS, hangars are the most common airport facility and

WHEREAS, the McCall Area Planning and Zoning Commission held a properly noticed and regularly scheduled public hearing on February 6, 2018 to consider these proposed zoning ordinance amendments; and

WHEREAS, at its February 6, 2018 meeting the McCall Area Planning and Zoning Commission recommended this proposed zoning ordinance amendment for approval by the McCall City Council and Valley County Board of Commissioners; and

WHEREAS, the City Council held a properly noticed and regularly scheduled public hearing on \_\_\_\_\_ to consider the proposed zoning ordinance amendments; and

WHEREAS, the zoning ordinance amendments were approved by the McCall City Council at a regularly scheduled and properly noticed public meeting on February 12, 2015.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF MCCALL, IDAHO, AS FOLLOWS:

Section 1: McCall City Code Title 3 Chapter 2 Section 2 (MCC 3.2.02): MEANINGS OF TERMS OR WORDS is amended to read as follows:

### **3.2.02: MEANINGS OF TERMS OR WORDS:**

**ACCESSORY USE, BUILDING, OR STRUCTURE:** A use, building, or structure on the same lot with, and of a nature customarily incidental and subordinate to, the principal use, building, or structure.

**ADMINISTRATOR:** The city manager, or in the event the city manager chooses to delegate that authority, that official who is appointed by the city manager to administer this title.

**ADULT ENTERTAINMENT ESTABLISHMENT:** A commercial establishment intended for the entertainment of adults, to the exclusion of minors, which offers sexually oriented entertainment, such as an adult arcade, adult bookstore, adult novelty store, adult video store, adult cabaret, adult motel, adult motion picture theater, adult theater, escort agency, seminude model studio, or sexual encounter center.

its successors) has continued in effect to the time as of which the legality of the use needs to be determined.

**ENVIRONMENTAL ASSESSMENT:** The critical appraisal of the likely effects of a proposed project, activity, or policy on the environment, both positive and negative.

**EXCAVATION:** See chapter 70 of the international building code.

**EXTERIOR:** Those outside portions of a structure, landscape, or lot that are visible from a public right of way or an adjacent property.

**FENCE:** A hedge, structure, or partition, erected for the purpose of enclosing or delineating a piece of land, or to divide a piece of land into distinct portions or ownerships.

**FINDINGS OF FACT:** That part of a decision document which sets out those facts in evidence found by the fact finder, and which the fact finder believes are necessary and material to their decision. See Idaho Code section 67-6535.

**FOOTPRINT:** The area of the lot which is within the perimeter created by a vertical extension to the ground of the exterior walls of all enclosed portions of a building, including all attached structures, decks, porches, and accessory annexes.

**GARAGE, REPAIR:** A building designed and used for the storage, care, repair, or refinishing of motor vehicles including both minor and major mechanical overhauling, paint and body work.

**GARAGE, RESIDENTIAL:** A building designed and used for the storage and care of motor vehicles owned by the property owner or guests.

**GROUND FLOOR:** The floor of a building with a principal entrance which faces the street to which the building address is assigned.

**HANGAR:** A building with the primary purpose of aircraft storage or maintenance.

**HARDSHIP:** As applied to a request for a variance, an act of depriving an owner of a property the opportunity to use that property to the reasonable use because of some feature or condition of the property.

**HEALTH AUTHORITY OR HEALTH DEPARTMENT:** That office of the Central district health department having approval jurisdiction over land development within the city, such as: location and engineering for septic systems; water systems (wells and distribution); review of subdivision plats, etc.

**HEIGHT, BUILDING:** Building height shall be measured vertically from any point on a proposed or existing building element to the existing grade prior to construction directly below said point on a proposed or existing building element. (The highest to lowest measurement at any given vertical structure line.)

plane at an elevation of 4,988.79 feet above sea level. It is irrelevant for purposes of this title that such contour is or is not covered by water at any particular time or times.

**WETLANDS:** Lands which are dedicated and protected in accordance with Federal laws and are not to be included in the calculation of land to meet the requirements for parks.

**WRECKING YARD:** A place where the dismantling or wrecking of two (2) or more used motor vehicles, mobile homes, trailers or the storage, sale or dumping of dismantled, partially dismantled, obsolete or wrecked vehicles or their parts, occurs. See also definition of Junk Buildings, Junk Shops, Junkyards.

**YARD:** An area, unoccupied and unobstructed by any structure or portion of a structure; provided, that accessories, ornaments and furniture may be permitted in any yard, subject to height limitations and requirements limiting obstruction of visibility, defined as the area between the lot line and the setback line.

**YARD, USABLE:** One (1) or more well drained open areas covered with lawn grass or other suitable cover material, located on the same lot as the principal use, for use by the residents for outdoor activities. Usable yard may be computed in part using sandboxes, horseshoe pits, and like outdoor recreational facilities. No dimension of the usable yard shall be less than ten feet (10'). "Usable yard" does not include driveways, common walks, refuse storage or collection areas, or off street parking or loading areas. Decks and accessible flat roof areas having at least one (1) dimension of ten feet (10'), and no dimension less than three feet (3'), may be used to meet a usable yard requirement. (Ord. 821, 2-23-2006, eff. 3-16-2006; amd. Ord. 840, 9-6-2007; Ord. 846, 11-5-2007; Ord. 864, 2-12-2009; Ord. 880, 9-23-2010; Ord. 930, 12-18-2014, eff. 1-1-2016; Ord. 952, 11-3-2016)

Section 2: McCall City Code Title 3, Chapter 6, Section 2 Table 3.6.02 (MCC 3.16.02):  
**PERMITTED AND CONDITIONALLY PERMITTED USES WITHIN PUBLIC ZONES** is amended to read as follows:

### **3.6.02: PUBLIC ZONE USE REGULATIONS:**

(A) Permitted And Conditionally Permitted Uses: The uses identified in table [3.6.02](#), "Permitted And Conditionally Permitted Uses Within Public Zones", of this section shall be the primary uses allowed to occur on a property. All uses, except for those provided for in subsection [3.8.01\(H\)](#), "Outdoor Display Areas", section [3.8.05](#), "Temporary Storage And Merchandising Facilities Not To Become Permanent", of this title, and aircraft parking and light maintenance in the AP zone, shall be conducted within enclosed structures. All uses not listed in table [3.6.02](#) of this section require review by the commission and a conditional use permit. The primary uses identified in table [3.6.02](#) of this section shall be permitted or conditionally permitted as indicated:

P: Where the symbol P appears, the use shall be permitted.

A: Where the symbol A appears, the use may be permitted subject to the issuance of an administrative permit in accordance with section [3.13.01](#) of this title.

C: Where the symbol C appears, the use may be permitted subject to the issuance of a conditional use permit in accordance with section [3.13.03](#), "Conditional Use Permit Standards", of this title.

Where no symbol, or a dash, appears, the use is not permitted. (Ord. 821, 2-23-2006, eff. 3-16-2006)

TABLE 3.6.02  
 PERMITTED AND CONDITIONALLY PERMITTED USES  
 WITHIN PUBLIC ZONES

Allowed Use	AF	CV	AP
Accessory structure >1,500 square feet	A	A	A
Agricultural service establishment	C	-	-
Agricultural structure	A	-	-
Agricultural use	P	-	-
Airport (public ownership)	C	-	P
Animals, small farm animals	P	A	-
Assembly plant (light manufacturing)	-	-	C
Camp	P	-	-
Cemetery	C	P	-
Church	C	C	-
Club or lodge or social hall	C	C	-
College or university	-	C	C
Conference or convention center	C	C	-
Dwelling, caretaker for an approved use	A	A	C
Dwelling, single-family detached	C	P	-
Dwelling unit <sup>1</sup>	-	C	-
Golf course and country club	C	C	-
<u>Hangar</u>	-	-	<u>P</u>
Hospital or clinic	C	A	-
Hotel, motel, lodge	C	C	-
Kennel	A	-	-
Large scale retail business <sup>3</sup>	-	-	-
Livestock facility .300 AU	C	-	-



Manufacturing facility (light)	-	C	C
Mixed use <sup>4,5</sup>	-	C	-
Mortuary	C	A	-
Museum	C	C	C
Nursery, wholesale (only)	P	-	-
Nursing facility, skilled	-	A	-
Office building or use, relating to an approved development	C	A	C
Office, temporary construction	A	A	A
Park, public	C	P	-
Pit, mine, or quarry	C	-	C
Portable classroom	A	A	-
Post office or mail delivery service	-	A	-
Power plant	C	C	C
Professional offices or buildings	-	A	C
Public or quasi-public use	C	P	C
Public service facility	C	C	C
Research and development facility	-	C	C
Restaurant	-	C	C
Restaurant, formula <sup>6</sup>	-	C	C
Retail, formula <sup>2</sup>	-	C	-
Roadside produce stand	A	A	-
Sanitary landfill, restricted	C	A	-
School, public or private, including vocational	C	C	C
Soil or water remediation	C	-	-
Stable or riding school, commercial	C	C	-
Storage building and yard	C	C	C
Swimming pool, private or public	A	A	-
Temporary living quarters	A	A	C

Tower or antenna structure, commercial	C	C	C
Tower or antenna structure, private	A	A	C
Warehousing facility	-	-	C
Winery	C	-	-

Notes:

- 1.Housing must be a part of a mixed use project.
- 2.See section 3.8.18 of this title for limitations on retail, formula.
- 3See subsection [3.8.02\(E\)](#) of this title.
- 4.Residential uses are permitted in mixed use building when the primary use of the ground floor is a nonresidential use allowed in the CV zone.
- 5.Multi-family housing must be a part of a mixed use project.
- 6.See section 3.8.17 of this title for limitations on restaurants, formula.

Section 3: Effective Date: That this ordinance shall take effect and be in full force upon its passage, approval, and publication in accordance with Idaho law.

PASSED AND APPROVED BY THE MAYOR AND COUNCIL OF THE CITY OF McCALL, IDAHO, THIS \_\_\_\_\_.

Approved:

By \_\_\_\_\_

Jackie J. Aymon, Mayor

Attest:

By \_\_\_\_\_  
BessieJo Wagner, City Clerk

**McCall Area Planning and Zoning Commission  
Staff Report**

**PUD-18-01, SUB-18-01, ZON-18-01, VAC-18-01**

*1000 State St.*

*St. Luke's McCall Hospital Expansion*

February 6, 2018

Applicant: St. Luke's McCall  
Agent: The Land Group Inc.  
Application: Subdivision Preliminary Plat, Planned Unit Development General Plan, Vacation of Right-of-Way, and Zoning Map Amendment applications.  
Zoning: CV – Civic and R4 – Low Density Residential

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**Description**

Planned Unit Development General Plan, Subdivision Preliminary Plat, Vacation of Right-of-Way, and Zoning Map Amendment applications to relocate of a portion of the Hewitt Street right-of-way, combine seven parcels into a lot of record, and to rezone a single parcel of R4 – Low Density Residential zoning to CV – Civic, to facilitate the expansion and renovation of McCall Medical Center.

**Code Narrative**

3.6.03: Public Zone General Development Standards:

The maximum building height in CV – Civic Zone is 50 ft.

3.8.061: Parking Area Development Standards:

E) Screening And/Or Landscaping: Parking areas shall be effectively screened on all sides which adjoin or face any property used for residential purposes by an acceptably designed wall, fence or planting screen. Such fence or wall shall be not less than four feet (4') or more than six feet (6') in height and shall be maintained in good condition. Planting screens shall not be less than four feet (4') in height and shall be maintained in good condition.

3.8.16: Other Requirements:

Sidewalks and pathways shall be required improvements for projects in commercial zones or where the commission determines sidewalks/pathways are necessary for public safety or located on the McCall Area Pathways Master Plan.

3.10.023: Uses Allowed:

Any permitted, conditional or accessory uses allowed in the zone may also be allowed in the PUD, with conditional uses not requiring a conditional use permit;

3.10.08: Development Standards:

The development proposal shall be preplanned in its entirety and be characterized by a unified site design. Approval of a PUD *shall substantially conform to the zone in which the development is located*, except that a zoning standard may be modified as part of the PUD request

### 3.13.05: Zoning Map Amendments:

Amendments to the zoning map may be initiated by the council, by the commission, or by persons or entities that have an existing majority interest by area in the property proposed to be rezoned by the amendment. (Ord. 821, 2-23-2006, eff. 3-16-2006)

### 9.9.03 Vacations and Dedications:

When considering an application for dedication, the council may approve, deny or modify the application. When a dedication is approved, the required street improvements shall be constructed or a bond furnished assuring the construction prior to acceptance of the dedication. To complete the acceptance of any dedication of land, the owner shall furnish to the city a deed describing and conveying such lands to be recorded with the county recorder.

### 9.1.02: Authority, Purpose, and General Provisions:

A PUD is required for all subdivision applications greater than 2 acres in size.

### **Design Guideline Narrative**

Please see the attached Findings and Conclusions document for Design Guideline analysis.

### **Comments**

*Agency –*

#### Payette Lake Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the February 6<sup>th</sup> McCall Area Planning and Zoning Commission meeting date. In a letter dated December 14, 2017, PLRWSD stated the following:

1. There are sewer service connections for the existing structure and manholes in the area of construction, the sewer service connection and manholes shall be protected from damage during demolition of the existing structures and construction of the proposed structure to prevent excessive water, or debris from entering the sewer system. Failure to do so will result in the owner/contractor being responsible for any cost incurred by the District for cleaning or removing debris that enters the sewer system.
2. We have met with the representatives of the project and are currently looking into the proposed sewer line changes.
3. Inflows of surface water and excessive infiltration are prohibited. Such prohibited sources of inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day. Storm water connection, sub-water drains, floor drains located within garages, foundation drains, roof drains, swimming pools, street drains, basement drains, sump pumps and abandoned sewer lines.
4. The owner/contractor shall notify the District two (2) business days before connection to the sewer stub.

#### McCall Fire



In an email received December 12, 2017, McCall Fire stated the following:

The fire district will require a fire hydrant to be located on the N. Side of the relocated Hewitt Street, specific location to be determined as the planning evolves. The district will also require a remote FDC on the S. Side of Hewitt Street, near the new fire hydrant. I have been in touch with Mr. Jason Densmer, PE, with the Land Group and he is agreeable to this, including waiting for the specific locations.

The fire district transports people to and from St. Luke's McCall on a daily basis. The proposed expansion will be a benefit to the community of McCall and it will ease access and flow of our ambulances, which will improve the care that we deliver to our community. The improvements in the water system in and around hospital will also have a positive benefit to the community.

Idaho Transportation Department (ITD)

In a letter received December 12, 2017, ITD state the following:

1. This project abuts the State Highway system.
2. This development will gain access to the State Highway system at the SH-55 / West Lake St. Trip generations for the site were not provided. The Idaho Administrative Procedures Act (IDAPA) governs access to state highways. Per IDAPA 39.03.42 rules, when a development generates 100 or more new trips in the peak hour, 1000 or more new trips per day, or the new volume of trips will result from development that equals or exceeds the threshold values in table 2, a traffic impact study shall be required, unless waived by the District Engineer. The applicant will need to indicate the expected trip generations before ITD can make a final determination on requirements of a traffic impact study. The applicant will be responsible to construct any mitigation identified by the traffic impact study.

IDAPA Table 2	
LAND USE TYPE	THRESHOLD VALUE
Residential	100 Dwelling Units
Retail	35,000 square feet
Office	50,000 square feet
Industrial	70,000 square feet
Lodging	100 rooms
School (K-12)	All (Sections 67-6508 & 67-6519, Idaho Code)

3. Idaho Code 40-1910 does not allow advertising within the right-of-way of any State Highway.
4. IDAPA 39.03.60 governs advertising along the State Highway system. The applicant may contact Justin Pond, Program Manager for ITD's Headquarters Right-of-Way Section at 334-8832 for more information.

5. ITD does not object to the expansion and renovation of the McCall Medical Center on this parcel provided the aforementioned access concerns have been addressed.

6. ITD reserves the right to make further comments upon review of any additionally submitted documents.

#### McCall City Engineer

In an email dated January 24, 2018, the City Engineer stated the following:

#### Hewitt Street

1. Improvement of Hewitt Street will include all water, sewer, storm sewer and other 3<sup>rd</sup> party utilities within the existing ROW. There has been some previous analysis done indicating that additional water line replacement may be needed (extending further west than currently shown on the Preliminary Plan), and this will be further analyzed and confirmed by the City's water consultant (SPF Engineers) during the final design.
2. Hewitt Street improvements will include 11' wide travel lanes, asphalt or road base shoulders, 6' detached sidewalk, and roadside ditch between the asphalt and sidewalk. The improvements will not include on-street parking, and it may be possible to eliminate a portion of the detached sidewalk on the north side of the street (in the vicinity of the new parking area). The exact street cross section will be determined and agreed to with final design.
3. All Hewitt Street improvements will be designed within a 50' ROW and the applicant will not be required to provide additional dedication for the standard ROW width of 60'.
4. The improvements on the south half of Hewitt must extend further to the west, and at a minimum must provide a fully completed sidewalk connection to the existing sidewalk at the back door of the clinic building.
5. The cost for all improvements on Hewitt will be the responsibility of the applicant.
6. If the comments above are addressed and the responsibilities identified agreed to, Public Works does not have any objection to the vacation of the existing Hewitt Street ROW and proposed realignment.

#### State Street

7. Improvement of State Street will include water line replacement with 8" pipe between Lake Street and Forest Street, storm sewer and inlets to serve both the site and the ROW improvement, and any 3<sup>rd</sup> party utility relocations as necessary.
8. State Street improvements will include (described starting on west ROW line, moving east) 6' attached sidewalk, curb/gutter, 7-8' parking, two 11' drives lanes, and roadside swale with paved driveway approaches (on east portion of ROW). It is believed that full improvement of State Street is warranted with this project due to the utility work needed in the street, the drainage & snow storage needs in this street, and the relief of any additional ROW dedication.
9. All State Street improvements will be designed in the existing 50' ROW and the applicant will not be required to provide additional dedication for the standard ROW width of 60'.

10. The cost for all improvements on State will be the responsibility of the applicant.

#### Forest Street

11. Improvement of Forest Street does not appear to require significant utility work at this time. This will be further analyzed during final design to determine if water line replacement is required. Any storm sewer and inlets needed to address drainage and any 3<sup>rd</sup> party utility relocations will be required as determined in the final design
12. Forest Street improvement generally include the north half of the street, and will include 6' attached sidewalk, curb/gutter, 5' bike lane, and one 11' drive lane. There will be no on-street parking designed on the north half of Forest Street.
13. It is believe that the improvements noted above will create 4' to 6' of open unutilized ROW behind the attached sidewalk. City staff supports the use of this area by the hospital for additional landscaping screening (to help screen the adjacent parking lot).
14. The improvements on the north half of Forest must extend further to the west, and include full reconstruction & improvement of the western hospital parking lot entrance and provide a fully completed sidewalk connection to the existing sidewalk to the southern front door of the clinic building.
15. All Forest Street improvements will be designed in the existing 60' ROW and the applicant will not be required to provide additional dedication for the standard ROW width of 70'.
16. Based on discussion with Matt Kaiserman and Tim Wilcox, additional concerns about safety and functionality exist with parking and pedestrian crossings on Forest Street. During the final design, the need and location of designated pedestrian crossings will be analyzed and will likely be determined as necessary with the improvements. These improvements may trigger further improvement of the south half of Forest Street that may be the responsibility of the applicant.
17. The cost for all improvements of the north half of Forest and for any pedestrian crossing improvements will be the responsibility of the applicant. If additional improvements to the south half of Forest Street are necessary based on the final design, or if drainage/access/pedestrian improvements are determined to be necessary to address the non-conforming parking lots on the south side of Forest, those costs could become the responsibility of the applicant as well. Some portion of the possible improvements on the south half of Forest may be considered by the City for a cost share agreement depending on the final design approved and the extent of improvements necessary.

#### Drainage Improvements

18. The Storm Drainage Memo submitted provides very conceptual information for addressing the drainage requirements within the site and within the adjacent streets and ROW. All storm sewer, inlets, culverts, ditches, and other drainage improvements will be the responsibility of the applicant.
19. City staff believes the improvement of Bioinfiltration Basin 1 at the south east corner of State and Lake will provide mutual benefit for the hospital site and for the improved street ROW's for Hewitt, State, and Forrest (for drainage/water quality treatment from all improved areas, and for a shared use snow storage area). City staff supports the development of this shared use at

the location shown on City owned property. The costs for all associated improvements (storm sewer, inlets, outlet structure, grading, and revegetation) with Bioinfiltration Basin 1 will be the responsibility of the applicant.

20. A Final Drainage Report will be required with the final design submittal and will need to provided significant additional detail and analysis above what is included in the Storm Drainage Memo.

#### Snow Storage, Removal, and Management Responsibilities

21. Based on the improvements discussed above, it is believed that the City will be able to plow snow on all street surfaces of Hewitt (snow to be windrowed and stored in both 6' +/- ditches), State (no snow storage on west half in on-street parking, all snow to be windrowed to proposed ditch on east half of ROW), and Forest (no storage on north half in bike lane, all snow to be windrowed to existing open shoulder on south half of ROW).
22. As snow storage fills up these areas, the City will utilize Bioinfiltration Basin 1 to haul snow to in order to reestablish storage in the ROW.
23. Hospital plowing and snow hauling will generally utilize the areas shown in blue on Sheet EX 3, Proposed Snow Management Plan.
24. Based on the discussions with Tim Wilcox and the City, Hospital plowing and snow hauling may also be able to utilize a portion of the storage capacity in Bioinfiltration Basin 1 through careful coordination and communication with City staff.
25. The proposed street improvements will result in limited snow storage within the ROW and such storage will likely present conflicts with sidewalk and private driveway/parking lot snow removal. Therefore, the City and the applicant recognize that snow hauling from the ROW into adjacent snow storage areas will be required. Based on discussions with Tim Wilcox and the City, both parties agree that cooperative responsibilities to relocate stockpiled snow from ROW areas (roadside swales and parking lanes) will be necessary to successfully manage snow both private and public snow removal operations. Prior to final engineering approval, the City and St. Luke's shall establish a formal agreement establishing singular responsibilities (i.e. City will plow drive lanes, St. Luke's will plow sidewalks) and shared responsibilities (i.e. stored snow hauling).

#### Development Agreements

26. A formal development agreement (and potential Escrow Agreement for performance guarantees) identifying all construction costs will be required prior to the start of construction on Hewitt Street.
27. An additional Development Agreement for other public infrastructure on State and Forest will be required with a future application.

There are numerous other details that will need to be worked out and modified with the final design plans submitted for review. The intent of this review is to capture major issues and challenges, and provide a basis for concurrence moving forward. If the level of improvements and the responsibility for completion of those improvements as outlined above are agreed to by the applicant, it appears likely



that the project will conform with the City's engineering requirements as the project moves forward into final design.

#### *Public –*

In a letter dated January 22, 2018, Judd and Diane DeBoer stated their opposition to the proposed helicopter helipad due to safety concerns. They feel that a dense residential neighborhood is not an appropriate location, and the trees and utility lines in the vicinity create a risk that outweighs the benefit of locating a helipad at the hospital when there is an airport nearby.

In a letter dated January 25, 2018, Dr. Dave Hall stated his support for the project and the current need for expanded emergency, laboratory, medical imaging, patient, and operating facilities.

In a letter dated January 29, 2018, John C. Westwater, President of the St. Luke's McCall Foundation, sent a letter in support of the project noting their ten years of work toward the goal of a hospital expansion and their fundraising efforts.

#### **Commission Findings**

The Commission hereby makes the following findings:

1. The project is in general conformance with the Comprehensive Plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable specifications outlined in the City of McCall Design Guidelines as well as all other applicable requirements of the Zoning.

#### **Conditions of Approval**

##### **Vacation:**

1. Approval of this Vacation of Right of Way application shall be contingent upon approval of the St. Luke's Subdivision Preliminary Plat (SUB-18-01) and Planned Unit Development General Plan (PUD-18-01).
2. Prior to scheduling of the application for City Council review, the applicant shall provide a legal description of the portion of the Hewitt St. right of way proposed for vacation.
3. Prior to scheduling of the application for City Council review, the applicant shall prepare for City review all necessary paperwork to execute any deed to transfer title to the vacated street.
4. Prior to scheduling of this Hewitt St. Vacation of Right-of-Way application before McCall City Council, the applicant shall submit St. Luke's Subdivision Final Plat application (SUB-18-01) for review by McCall City Council.
5. Prior to scheduling of this Hewitt St. Vacation of Right-of-Way application before McCall City Council, the applicant shall submit a development agreement with financial guarantees for the development of all public infrastructure associated with the relocation of Hewitt St.
6. In order to address snow and stormwater management associated with the development of Hewitt St., the applicant shall bear the costs of constructing a bio-infiltration basin on the southeast corner

of the intersection of State and Lake St., on City of McCall property. The costs of such infrastructure shall be included in the Hewitt St. Development Agreement.

7. Prior to any site grading or disturbance, the applicant shall obtain final engineering approval from the McCall City Engineer of project final civil designs and drainage plans (see Agency Comments).
8. Prior to any site grading or disturbance, the applicant shall execute and record the St. Luke's Subdivision Final Plat with the Valley County Recorder's Office.
9. Prior to final acceptance of the road and water infrastructure by the City of McCall, the applicant shall obtain approval from McCall Fire for required improvements (see agency comments above).
10. Prior to issuance of a building permit, the applicant shall receive final approval and acceptance from the City of McCall and from Payette Lakes Recreational Water and Sewer District for all water, sewer, and road infrastructure.

**PUD and SUB:**

11. Approval of this Subdivision Preliminary Plat (SUB-18-01) application shall be contingent upon approval of the associated Hewitt St. Vacation of Right of Way application (VAC-18-01) and Planned Unit Development General Plan (PUD-18-01) by McCall City Council.
12. Prior to submittal of Planned Unit Development Final Plan application (PUD-18-01) for review by the Planning and Zoning Commission, the applicant shall provide a landscaping plan that provides significant landscaping screening of all parking and which identifies plant size at the time of installation.
13. Prior to final engineering approval, the City and St. Luke's shall establish a formal agreement establishing singular responsibilities and shared responsibilities for snow management within the project area. A full set of as built (record) drawings of all improvements intended for public use and maintenance, including, but not limited to, water and sewer lines, and including also private and public streets, shall be furnished to the City within sixty (60) days of completion of the construction.
14. Pursuant to MCC 9.2.07(B), the applicant shall submit a Final Plat for the project no later than seven (7) years after the final approval of the Preliminary Plat. Any changes to, or extensions of, this timeframe shall require approval by the McCall Area Planning and Zoning Commission and McCall City Council.
15. A full set of as built (record) drawings of all improvements intended for public use and maintenance, including, but not limited to, water and sewer lines, and including also private and public streets, shall be furnished to the city for the permanent records of the city within sixty (60) days of completion of the construction.
16. Prior to submittal of St. Luke's Subdivision Final Plat application (SUB-18-01) for review by the McCall Area Planning and Zoning Commission, the applicant shall revise the plat to include additional sidewalk along the southwest portion of Hewitt St. connecting to the footpath leading to the back door of Payette Lakes Medical Clinic.
17. Prior to submittal of the St. Luke's Subdivision Final Plat application (SUB-18-01) for review by the McCall Area Planning and Zoning Commission, the applicant shall revise the plat to include

reconstruction of all of State St., per engineering specifications listed above (see engineering comments).

18. Prior to submittal of the St. Luke's Subdivision Final Plat application (SUB-18-01) for review by the McCall Area Planning and Zoning Commission, the application shall revise the plat to include reconstruction of Forest St., from at least the center line, to include drive lane, bike land, curb gutter and side walk, and right-of-way landscaping per agency comments above. Additionally, the sidewalk proposed on the north side of Forest St. shall be extended to the west up to the Payette Medical Clinic access.
19. Prior to submittal of St. Luke's Subdivision Final Plat application (SUB-18-01) for review by the McCall Area Planning and Zoning Commission, the applicant shall submit expected trip generations to the Idaho Department of Transportation to determine whether a traffic impact study will be required (see agency comments above).
20. Prior to any site grading or disturbance, the applicant shall obtain final engineering approval from the McCall City Engineer of project final civil designs and drainage plans (see Agency Comments).
21. Prior to any site grading or disturbance, the applicant shall execute and record the St. Luke's Subdivision Final Plat with the Valley County Recorder's Office.
22. Prior to final acceptance of the road and water infrastructure by the City of McCall, the applicant shall obtain approval from McCall Fire for required improvements (see agency comments above).
23. Prior to issuance of a building permit, the applicant shall receive final approval and acceptance from the City of McCall and from Payette Lakes Recreational Water and Sewer District for all water, sewer, and road infrastructure.
24. Prior to execution and recordation of the Subdivision Final Plat, the applicant shall provide digital files of the plat in accordance with the McCall Digital Data Submission Standards.
25. Prior to execution and recordation of the Subdivision Final Plat, the applicant shall obtain approval of a Development Agreement with the City and shall provide financial assurances for any deferred improvements related to Forest St. and State St.
26. Prior to any site grading or disturbance, the applicant shall obtain final engineering approval from the McCall City Engineer of project final civil designs.
27. Pursuant to McCall City Code (MCC 9.2.06.H), preliminary subdivision plat approval shall lapse and become void whenever the applicant has not applied for final plat approval within eighteen (18) months from the date of preliminary plat approval by McCall City Council.
28. The applicant shall underground all utilities within the project as well as any overhead utilities (MCC 9.6.02) located along Hewitt St., State St., and Forest St.
29. Prior to submittal of Planned Unit Development Final Plan application (PUD-18-01) for review by the Planning and Zoning Commission, the applicant shall provide a lighting plan demonstrating that the proposed lighting fixture types and location will meet the provisions of McCall's Outdoor Lighting Ordinance (MCC 3.14) which requires all exterior lighting be downcast and fully shielded.

IN RE: )  
)  
St. Luke's PUD General Plan ) **McCALL AREA PLANNING AND ZONING COMMISSION**  
Planned Unit Development ) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**  
General Plan ) **DECISION**  
)  
Application Number: )  
PUD-18-01 )

**FINDINGS OF FACTS**

**Applicant:** St. Luke's McCall

**Representative:** The Land Group Inc.

**Application:** PUD-18-01

**Companion Applications:** Subdivision Preliminary Plat (SUB-18-01), Vacation of Right-of-Way (VAC-18-01), and Zoning Map Amendment (ZON-18-01) applications.

**Location:** Lots 1, 2, 3 and 4 Block G and Lots 1, 2, 3 and 4 Block F in Brundage Subdivision situate in S8, T18N, R3E, BM, Valley County, Idaho.

**Pre-Application Meeting Date:** November 7, 2018

**Public Notices:** Newspaper: The Notice of Hearing was published in the *Star News* on January 18, 2018.

Mailing: The applicant mailed the Notice of Hearing to property owners within 300 feet on January 18, 2018.

Posting: The applicant posted the Notice of Hearing on the subject parcel on January 19, 2018.

**Zoning:** The surrounding parcels are zoned CV – Civic, and R4 – Low Density Residential.

**Property Size:** Lot 1 Block 1: 139,108 sq. ft. (3.19 acres)  
Lot 1 Block 2: 9,333 sq. ft. (0.21 acres)



## APPROVAL STANDARDS

### Title 3, Chapter 10

1. **The underlying zoning, title IX of the McCall City Code, and other applicable regulations under title III and title IX of the McCall City Code are met, except as the applicant has specifically requested modifications to the standards as part of the PUD.** The project meets the underlying and proposed re-zone application (ZON-18-01) zoning of CV – Civic. Per McCall City Code, hospitals and clinics are an administratively approved use. The applicable regulations under Title III and Title IX of McCall City Code are met, except for the following alleviations from the development standards requested by the applicant:
  - a. Maximum building height in the Civic Zone pursuant to MCC 3.6.03, is fifty feet (50 ft.).  
The applicant proposes to construct a building up to fifty-six feet (56 ft.) in height, with specific building information to follow during design review.
  - b. Pursuant to McCall City Code 3.8.06, off street parking for institutional uses shall be located behind or beside the use. The applicant proposes to construct new parking areas fronting State St. and Hewitt St. and to maintain the existing parking area fronting Forest St.
2. **The proposed uses shall not be detrimental to present and potential surrounding uses; nor shall they be detrimental to the health, safety and general welfare of the public. The physical features of the site, public facilities, and existing adjacent developments and uses shall be considered.** The expanded hospital use is consistent with the existing hospital and clinic use on site and on adjacent properties, as well as with the property's proximity to the city center. The applicant has also demonstrated that the proposed helicopter helistop to be constructed on the roof level (above 2<sup>nd</sup> floor) of the building will have a minimal impact on the health, safety, and

general welfare of the public and the adjacent residential zone. On average, only 22 flights occurred per year between the hours of 10PM and 6 AM.

3. **Any variation from the basic zone requirements must be warranted by the design and amenities incorporated in the preliminary and final development plan.** The development includes the following amenities incorporated in the preliminary plan:
  - a. Sidewalk and/or separated pedestrian path along the north and south side of the relocated Hewitt St.
  - b. Sidewalk along the west side of the reconstructed State St.
  - c. Sidewalk and bike lane along the north side of the reconstructed Forest St.
4. **The planned unit development must meet the general objectives of the McCall Area Comprehensive Plan.** The Future Land Use Map within the 2017 McCall Area Comprehensive Plan (Comp Plan) indicates the future zoning of the subject property as CV – Civic.
5. **Existing and proposed streets and utility services must be suitable and adequate for the proposed development.** The proposed relocation of Hewitt St. and redevelopment of State St. and Forest St. will be suitable and adequate for the development (see engineering comments below for specifications).
6. **A development agreement is required between the developer and the city which delineates commitments of the developer to the city and of the city to the developer including, but not limited to, assurances for public and private improvements and maintenance of the same.** The developer proposes to submit and record the final plat as soon as possible, therefore deferring the construction of some infrastructure improvements until after recordation of the subdivision final plat. A development agreement with financial assurances will be required prior to execution and recordation of final plat.

- 7. A PUD may be proposed in conjunction with an application to amend the zoning map and the Comprehensive Plan.** The subject property is currently zoned CV – Civic and R4 – Low Density Residential. An application (ZON-18-01) has been submitted to re-zone the single R4 parcel to CV – Civic.

**PUD Development Standards [MCC 3.10.08]**

- 1. Off Street Parking:** McCall City Code 3.8.062 requires that hospitals provide one (1) parking space for each hospital bed as well as one (1) parking space for every two (2) hospital employees. Submitted materials show that the proposed hospital expansion will include space for seventeen (17) beds and one hundred ten employees (110). Therefore, the total required parking for the proposed development is seventy-two spaces (72).

The existing parking area fronting Forest ST. will be reconfigured and modernized and is anticipated to provide approximately forty-nine (49) spaces. A new parking area to the north of the realigned Hewitt St. will accommodate fourteen (14) spaces and a new parking area fronting State St. will accommodate twenty-eight (28) spaces. Total parking provided on site accommodates ninety-one (91) parking spaces, therefore adequate parking spaces are provided within the proposed development.

Other parking areas utilized by the hospital include thirty-two (32) spaces in the adjacent Payette Lakes Medical Clinic parking area, forty-three (43) spaces across the street in a nonconforming and unpermitted parking lot, and ten (10) spaces located across State St. which are leased from the Museum.

- 2. Signs:** No signs have yet been proposed for the development. Any proposed signs will require review and approval by the City of McCall.
- 3. Storm Water Management:** As stated in the City Engineer letter dated January 25, 2018, submitted conceptual grading and stormwater management plans indicate that the project will

likely be able to comply with the City's drainage and management guidelines and final design approval will be required as part of final engineering approval (see agency comments below).

4. **Required Setbacks:** Per McCall City Code 3.6.03, there is no required setback from the property line in the CV –Civic Zone.
5. **Landscaping:** Landscaping is required to screen all parking areas from the public right-of-way. No landscaping plan has yet been submitted. Prior to submittal of Planned Unit Development Final Plan application (PUD-18-01) for review by the Planning and Zoning Commission, the applicant shall provide a landscaping plan that provides significant landscaping screening of all parking areas and which identifies plant size at the time of installation.
8. **Lighting Plan:** No lighting plan has yet been submitted. Prior to submittal of Planned Unit Development Final Plan application (PUD-18-01) for review by the Planning and Zoning Commission, the applicant shall provide a lighting plan demonstrating that the proposed lighting fixture types and location will meet the provisions of McCall's Outdoor Lighting Ordinance (MCC 3.14) which requires all exterior lighting be downcast and fully shielded.

#### **DEPARTMENT/AGENCY COMMENTS**

##### Payette Lake Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the February 6<sup>th</sup> McCall Area Planning and Zoning Commission meeting date. In a letter dated December 14, 2017, PLRWSD stated the following:

1. There are sewer service connections for the existing structure and manholes in the area of construction, the sewer service connection and manholes shall be protected from damage during demolition of the existing structures and construction of the proposed structure to prevent excessive water, or debris from entering the sewer system. Failure to do so will result



in the owner/contractor being responsible for any cost incurred by the District for cleaning or removing debris that enters the sewer system.

2. We have met with the representatives of the project and are currently looking into the proposed sewer line changes.
3. Inflows of surface water and excessive infiltration are prohibited. Such prohibited sources of inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day. Storm water connection, sub-water drains, floor drains located within garages, foundation drains, roof drains, swimming pools, street drains, basement drains, sump pumps and abandoned sewer lines.
4. The owner/contractor shall notify the District two (2) business days before connection to the sewer stub.

#### McCall Fire

In an email received December 12, 2017, McCall Fire stated the following:

The fire district will require a fire hydrant to be located on the N. Side of the relocated Hewitt Street, specific location to be determined as the planning evolves. The district will also require a remote FDC on the S. Side of Hewitt Street, near the new fire hydrant. I have been in touch with Mr. Jason Densmer, PE, with the Land Group and he is agreeable to this, including waiting for the specific locations.

The fire district transports people to and from St. Luke's McCall on a daily basis. The proposed expansion will be a benefit to the community of McCall and it will ease access and flow of our ambulances, which will improve the care that we deliver to our community. The improvements in the water system in and around hospital will also have a positive benefit to the community.

#### Idaho Transportation Department (ITD)

In a letter received December 12, 2017, ITD state the following:

1. This project abuts the State Highway system.

2. This development will gain access to the State Highway system at the SH-55 / West Lake St. Trip generations for the site were not provided. The Idaho Administrative Procedures Act (IDAPA) governs access to state highways. Per IDAPA 39.03.42 rules, when a development generates 100 or more new trips in the peak hour, 1000 or more new trips per day, or the new volume of trips will result from development that equals or exceeds the threshold values in table 2, a traffic impact study shall be required, unless waived by the District Engineer. The applicant will need to indicate the expected trip generations before ITD can make a final determination on requirements of a traffic impact study. The applicant will be responsible to construct any mitigation identified by the traffic impact study.

IDAPA Table 2	
LAND USE TYPE	THRESHOLD VALUE
Residential	100 Dwelling Units
Retail	35,000 square feet
Office	50,000 square feet
Industrial	70,000 square feet
Lodging	100 rooms
School (K-12)	All (Sections 67-6508 & 67-6519, Idaho Code)

3. Idaho Code 40-1910 does not allow advertising within the right-of-way of any State Highway.
4. IDAPA 39.03.60 governs advertising along the State Highway system. The applicant may contact Justin Pond, Program Manager for ITD's Headquarters Right-of-Way Section at 334-8832 for more information.
5. ITD does not object to the expansion and renovation of the McCall Medical Center on this parcel provided the aforementioned access concerns have been addressed.

6. ITD reserves the right to make further comments upon review of any additionally submitted documents.

McCall City Engineer

In an email dated January 24, 2018, the City Engineer stated the following:

Hewitt Street

1. Improvement of Hewitt Street will include all water, sewer, storm sewer and other 3<sup>rd</sup> party utilities within the existing ROW. There has been some previous analysis done indicating that additional water line replacement may be needed (extending further west than currently shown on the Preliminary Plan), and this will be further analyzed and confirmed by the City's water consultant (SPF Engineers) during the final design.
2. Hewitt Street improvements will include 11' wide travel lanes, asphalt or road base shoulders, 6' detached sidewalk, and roadside ditch between the asphalt and sidewalk. The improvements will not include on-street parking, and it may be possible to eliminate a portion of the detached sidewalk on the north side of the street (in the vicinity of the new parking area). The exact street cross section will be determined and agreed to with final design.
3. All Hewitt Street improvements will be designed within a 50' ROW and the applicant will not be required to provide additional dedication for the standard ROW width of 60'.
4. The improvements on the south half of Hewitt must extend further to the west, and at a minimum must provide a fully completed sidewalk connection to the existing sidewalk at the back door of the clinic building.
5. The cost for all improvements on Hewitt will be the responsibility of the applicant.
6. If the comments above are addressed and the responsibilities identified agreed to, Public Works does not have any objection to the vacation of the existing Hewitt Street ROW and proposed realignment.

## State Street

7. Improvement of State Street will include water line replacement with 8" pipe between Lake Street and Forest Street, storm sewer and inlets to serve both the site and the ROW improvement, and any 3<sup>rd</sup> party utility relocations as necessary.
8. State Street improvements will include (described starting on west ROW line, moving east) 6' attached sidewalk, curb/gutter, 7-8' parking, two 11' drives lanes, and roadside swale with paved driveway approaches (on east portion of ROW). It is believed that full improvement of State Street is warranted with this project due to the utility work needed in the street, the drainage & snow storage needs in this street, and the relief of any additional ROW dedication.
9. All State Street improvements will be designed in the existing 50' ROW and the applicant will not be required to provide additional dedication for the standard ROW width of 60'.
10. The cost for all improvements on State will be the responsibility of the applicant.

## Forest Street

11. Improvement of Forest Street does not appear to require significant utility work at this time. This will be further analyzed during final design to determine if water line replacement is required. Any storm sewer and inlets needed to address drainage and any 3<sup>rd</sup> party utility relocations will be required as determined in the final design
12. Forest Street improvement generally include the north half of the street, and will include 6' attached sidewalk, curb/gutter, 5' bike lane, and one 11' drive lane. There will be no on-street parking designed on the north half of Forest Street.
13. It is believe that the improvements noted above will create 4' to 6' of open unutilized ROW behind the attached sidewalk. City staff supports the use of this area by the hospital for additional landscaping screening (to help screen the adjacent parking lot).



14. The improvements on the north half of Forest must extend further to the west, and include full reconstruction & improvement of the western hospital parking lot entrance and provide a fully completed sidewalk connection to the existing sidewalk to the southern front door of the clinic building.
15. All Forest Street improvements will be designed in the existing 60' ROW and the applicant will not be required to provide additional dedication for the standard ROW width of 70'.
16. Based on discussion with Matt Kaiserman and Tim Wilcox, additional concerns about safety and functionality exist with parking and pedestrian crossings on Forest Street. During the final design, the need and location of designated pedestrian crossings will be analyzed and will likely be determined as necessary with the improvements. These improvements may trigger further improvement of the south half of Forest Street that may be the responsibility of the applicant.
17. The cost for all improvements of the north half of Forest and for any pedestrian crossing improvements will be the responsibility of the applicant. If additional improvements to the south half of Forest Street are necessary based on the final design, or if drainage/access/pedestrian improvements are determined to be necessary to address the non-conforming parking lots on the south side of Forest, those costs could become the responsibility of the applicant as well. Some portion of the possible improvements on the south half of Forest may be considered by the City for a cost share agreement depending on the final design approved and the extent of improvements necessary.

#### Drainage Improvements

18. The Storm Drainage Memo submitted provides very conceptual information for addressing the drainage requirements within the site and within the adjacent streets and ROW. All storm sewer, inlets, culverts, ditches, and other drainage improvements will be the responsibility of the applicant.

19. City staff believes the improvement of Bioinfiltration Basin 1 at the south east corner of State and Lake will provide mutual benefit for the hospital site and for the improved street ROW's for Hewitt, State, and Forrest (for drainage/water quality treatment from all improved areas, and for a shared use snow storage area). City staff supports the development of this shared use at the location shown on City owned property. The costs for all associated improvements (storm sewer, inlets, outlet structure, grading, and revegetation) with Bioinfiltration Basin 1 will be the responsibility of the applicant.
20. A Final Drainage Report will be required with the final design submittal and will need to provided significant additional detail and analysis above what is included in the Storm Drainage Memo.

#### Snow Storage, Removal, and Management Responsibilities

21. Based on the improvements discussed above, it is believed that the City will be able to plow snow on all street surfaces of Hewitt (snow to be windrowed and stored in both 6' +/- ditches), State (no snow storage on west half in on-street parking, all snow to be windrowed to proposed ditch on east half of ROW), and Forest (no storage on north half in bike lane, all snow to be windrowed to existing open shoulder on south half of ROW).
22. As snow storage fills up these areas, the City will utilize Bioinfiltration Basin 1 to haul snow to in order to reestablish storage in the ROW.
23. Hospital plowing and snow hauling will generally utilize the areas shown in blue on Sheet EX 3, Proposed Snow Management Plan.
24. Based on the discussions with Tim Wilcox and the City, Hospital plowing and snow hauling may also be able to utilize a portion of the storage capacity in Bioinfiltration Basin 1 through careful coordination and communication with City staff.

25. The proposed street improvements will result in limited snow storage within the ROW and such storage will likely present conflicts with sidewalk and private driveway/parking lot snow removal. Therefore, the City and the applicant recognize that snow hauling from the ROW into adjacent snow storage areas will be required. Based on discussions with Tim Wilcox and the City, both parties agree that cooperative responsibilities to relocate stockpiled snow from ROW areas (roadside swales and parking lanes) will be necessary to successfully manage snow both private and public snow removal operations. Prior to final engineering approval, the City and St. Luke's shall establish a formal agreement establishing singular responsibilities (i.e. City will plow drive lanes, St. Luke's will plow sidewalks) and shared responsibilities (i.e. stored snow hauling).

#### Development Agreements

26. A formal development agreement (and potential Escrow Agreement for performance guarantees) identifying all construction costs will be required prior to the start of construction on Hewitt Street.

27. An additional Development Agreement for other public infrastructure on State and Forest will be required with a future application.

There are numerous other details that will need to be worked out and modified with the final design plans submitted for review. The intent of this review is to capture major issues and challenges, and provide a basis for concurrence moving forward. If the level of improvements and the responsibility for completion of those improvements as outlined above are agreed to by the applicant, it appears likely that the project will conform with the City's engineering requirements as the project moves forward into final design.

#### **CONCLUSIONS OF LAW**

1. The City of McCall has provided for the processing of application for Planned Unit Development, authorized by Section 67-6512, Idaho Code, pursuant to Title 3, Chapter 10 of McCall City Code.
2. Adequate notice of the February 6, 2018 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Planned Unit Development Standards set forth in Title 3 of McCall City Code.

### **DECISION**

**THEREFORE**, the McCall Area Planning and Zoning Commission hereby **recommends** this Planned Unit Development application for **approval** by the McCall City Council, provided that the following conditions are met:

1. Approval of this Planned Unit Development General Plan (PUD-18-01) application shall be contingent upon approval of the associated Hewitt St. Vacation of Right of Way application (VAC-18-01) and St. Luke's Subdivision Preliminary Plat (SUB-18-01) by McCall City Council.
2. Prior to submittal of Planned Unit Development Final Plan application (PUD-18-01) for review by the Planning and Zoning Commission, the applicant shall provide a landscaping plan that provides significant landscaping screening of all parking and which identifies plant size at the time of installation.
3. Prior to final engineering approval, the City and St. Luke's shall establish a formal agreement establishing singular responsibilities and shared responsibilities for snow management within the project area. A full set of as built (record) drawings of all improvements intended for public use and maintenance, including, but not limited to, water and sewer lines, and including also private and public streets, shall be furnished to the City within sixty (60) days of completion of the construction.
4. Pursuant to MCC 9.2.07(B), the applicant shall submit a Final Plat for the project no later than seven (7) years after the final approval of the Preliminary Plat. Any changes to, or extensions of, this



timeframe shall require approval by the McCall Area Planning and Zoning Commission and McCall City Council.

5. A full set of as built (record) drawings of all improvements intended for public use and maintenance, including, but not limited to, water and sewer lines, and including also private and public streets, shall be furnished to the city for the permanent records of the city within sixty (60) days of completion of the construction.
6. Prior to submittal of St. Luke's Planned Unit Development Final Plan application (PUD-18-01) for review by the McCall Area Planning and Zoning Commission, the applicant shall revise the plan to include additional sidewalk along the southwest portion of Hewitt St. connecting to the footpath leading to the back door of Payette Lakes Medical Clinic.
7. Prior to submittal of the St. Luke's Planned Unit Development Final Plan application (PUD-18-01) for review by the McCall Area Planning and Zoning Commission, the applicant shall revise the plan to include reconstruction of all of State St., per engineering specifications listed above (see engineering comments).
8. Prior to submittal of the St. Luke's Planned Unit Development Final Plan application (PUD-18-01) for review by the McCall Area Planning and Zoning Commission, the application shall revise the plan to include reconstruction of Forest St., from at least the center line, to include drive lane, bike lane, curb gutter and side walk, and right-of-way landscaping per agency comments above. Additionally, the sidewalk proposed on the north side of Forest St. shall be extended to the west up to the Payette Medical Clinic access.
9. Prior to submittal of St. Luke's Planned Unit Development Final Plan application (PUD-18-01) for review by the McCall Area Planning and Zoning Commission, the applicant shall submit expected trip generations to the Idaho Department of Transportation to determine whether a traffic impact study will be required (see agency comments above).

10. Prior to any site grading or disturbance, the applicant shall obtain final engineering approval from the McCall City Engineer of project final civil designs and drainage plans (see Agency Comments).
11. Prior to any site grading or disturbance, the applicant shall execute and record the St. Luke's Subdivision Final Plat with the Valley County Recorder's Office.
12. Prior to final acceptance of the road and water infrastructure by the City of McCall, the applicant shall obtain approval from McCall Fire for required improvements (see agency comments above).
13. Prior to issuance of a building permit, the applicant shall receive final approval and acceptance from the City of McCall and from Payette Lakes Recreational Water and Sewer District for all water, sewer, and road infrastructure.
14. Prior to execution and recordation of the Subdivision Final Plat, the applicant shall provide digital files of the plat in accordance with the McCall Digital Data Submission Standards.
15. Prior to execution and recordation of the Subdivision Final Plat, the applicant shall obtain approval of a Development Agreement with the City and shall provide financial assurances for any deferred improvements related to Forest St. and State St.
16. Pursuant to McCall City Code (MCC 9.2.06.H), preliminary subdivision plat approval shall lapse and become void whenever the applicant has not applied for final plat approval within eighteen (18) months from the date of preliminary plat approval by McCall City Council.
17. The applicant shall underground all utilities within the project as well as any overhead utilities (MCC 9.6.02) located along Hewitt St., State St., and Forest St.
18. Prior to submittal of Planned Unit Development Final Plan application (PUD-18-01) for review by the Planning and Zoning Commission, the applicant shall provide a lighting plan demonstrating that the proposed lighting fixture types and location will meet the provisions of McCall's Outdoor Lighting Ordinance (MCC 3.14) which requires all exterior lighting be downcast and fully shielded.

Findings of Fact **adopted** this 6<sup>th</sup> day of February, 2018.

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Fallon Fereday, Chair  
McCall Area Planning and Zoning Commission

Attest:

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Morgan Bessaw, City Planner  
City of McCall

IN RE: )  
)  
St. Luke's Preliminary Plat )  
Subdivision Preliminary Plat )  
)  
)  
Application Number: )  
SUB-18-01 )

**McCALL AREA PLANNING AND ZONING COMMISSION  
FINDINGS OF FACT, CONCLUSIONS OF LAW, AND  
DECISION**

**FINDINGS OF FACTS**

**Applicant:** St. Luke's Hospital

**Representative(s):** The Land Group

**Application:** Subdivision Preliminary Plat application to combine seven lots of record into a single parcel and to relocate the Hewitt St. right-of-way to allow for future hospital expansion.

**Companion Application(s):** Planned Unit Development General Plan (PUD-18-01), Vacation of Right-of-Way (VAC-18-01), and Zoning Map Amendment (ZON-18-01) applications.

**Location:** Lots 1, 2, 3 and 4 Block G and Lots 1, 2, 3 and 4 Block F in Brundage Subdivision situate in S8, T18N, R3E, BM, Valley County, Idaho.

**Property Address:** 1000 State St.

**Pre-Application Meeting Date:** November 7, 2018

**Public Notices:** Newspaper: The Notice of Hearing was published in the *Star News* on January 18, 2018.

Mailing: The applicant mailed the Notice of Hearing to property owners within 300 feet on January 18, 2018.

Posting: The applicant posted the Notice of Hearing on the subject parcel on January 19, 2018.

- Zoning Districts:** The surrounding parcels are zoned CV – Civic, and R4 – Low Density Residential.
- Property Size:** Lot 1 Block 1: 139,108 sq. ft. (3.19 acres)  
Lot 1 Block 2: 9,333 sq. ft. (0.21 acres)
- Parking Spaces:** McCall City Code 3.8.062 requires that hospitals provide one (1) parking space for each hospital bed as well as one (1) parking space for every two (2) hospital employees. Submitted materials show that the proposed hospital expansion will include space for seventeen (17) beds and one hundred ten employees (110). Therefore, the total required parking for the proposed development is seventy-two spaces (72).
- The existing parking area fronting Forest St. will be reconfigured and modernized and is anticipated to provide approximately forty-nine (49) spaces. A new parking area to the north of the realigned Hewitt St. will accommodate fourteen (14) spaces and a new parking area fronting State St. will accommodate twenty-eight (28) spaces. Total parking provided on site accommodates ninety-one (91) parking spaces, therefore adequate parking spaces are provided within the proposed development.
- Other parking areas utilized by the hospital include thirty-two (32) spaces in the adjacent Payette Lakes Medical Clinic parking area, forty-three (43) spaces across the street in a nonconforming and unpermitted parking lot, and ten (10) spaces located across State St. which are leased from the Museum.

## **APPROVAL STANDARDS**

### **Title 9, Chapter 1**

#### **Subdivision and Development Provisions**



1. **The applicant, based on the size of the proposed subdivision, was required to submit an accompanying Planned Unit Development application [MCC 9.1.02.E & Table 9.1.02].** A Planned Unit Development application is required because the proposed area is greater than 2 acres and is zoned CV - Civic.
2. **No subdivision shall be approved which affects the ability of a political subdivision of the state, including school districts, to deliver services without compromising quality or service delivery to current residents or imposing substantial additional costs upon current residents, unless the subdivider provides for the mitigation of the effects of subdivision [MCC 9.1.02.G].** The project includes public road, sidewalk, stormwater management, and water and sewer infrastructure improvements.
3. **When an owner of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The commission and council shall evaluate the following basic site criteria and make appropriate findings of fact regarding the area development plan [MCC 9.1.02.H].**
  - a. **Streets, whether public or private, provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic and to meet the requirements of its functional classification.** The proposed relocation of Hewitt St. and redevelopment of State St. and Forest St. will be suitable and adequate for the development (see engineering comments below for specifications).
  - b. **Nonvehicular circulation routes provide safe pedestrianways and bicycleways and provide an interconnected system to streets, parks and green space, public lands, or other destinations.** The project includes construction of:
    - a. Sidewalk and/or separated pedestrian path along the north and south side of the relocated Hewitt St.

- b. Sidewalk along the west side of the reconstructed State St.
  - c. Sidewalk and bike lane along the north side of the reconstructed Forest St.
  - c. **Water main lines and sewer main lines are designed in the most effective layout feasible and meeting the applicable standards.** Water and sewer utilities will be located within the private roadway and will meet the applicable standards.
  - d. **Other utilities, including power, telephone, and cable, are designed in the most effective layout feasible.** The submitted plans do not illustrate the location of power, telephone and cable utilities. Approval of these locations will be a component of final engineering approval.
  - e. **Grading and drainage are appropriate to the contiguous parcels.** As stated in the City Engineer letter dated January 25, 2018, submitted conceptual grading and stormwater management plans indicate that the project will likely be able to comply with the City's drainage and management guidelines and final design approval will be required as part of final engineering approval.
  - f. **Development avoids easements and hazardous or sensitive natural resource areas.** No wetlands or other sensitive natural areas are present.
4. **All subdivisions of land, records of survey, and all dedications and vacations of streets must comply with the McCall area comprehensive plan as adopted by the council and with the current zone as defined in title III of the McCall City Code [MCC 9.1.06].** The Future Land Use Map within the 2017 McCall Area Comprehensive Plan (Comp Plan) indicates the future zoning of the subject property as CV – Civic.

#### **Subdivision Design Standards [MCC Title 9, Chapter 3]**

1. **Blocks & Lots:** Two blocks of a single lot each are proposed. Block 1, Lot 1, is to include the proposed medical center expansion (3.19 acres). Block 2, Lot 1, is to include the proposed

Hewitt St. parking area (0.21 acres). Both are of sufficient size to provide for access, circulation, and safety of pedestrians and vehicular traffic and meet the needs to the proposed hospital and parking development.

2. **Streets:** The proposed relocation of Hewitt St. and redevelopment of State St. and Forest St. will be suitable and adequate for the development (see engineering comments below for specifications).
3. **Alleys:** There are no alleys proposed.
4. **Pedestrian and Bicycle Pathways and Greenbelts:**

The project includes construction of:

- a. Sidewalk and/or separated pedestrian path along the north and south side of the relocated Hewitt St.
  - b. Sidewalk along the west side of the reconstructed State St.
  - c. Sidewalk and bike lane along the north side of the reconstructed Forest St.
5. **Snow Storage:** Snow storage areas have been identified on site. Additional snow storage has been identified offsite, including within the newly created bio-infiltration basin, which will be constructed by the applicant, at the southeast corner of Sate St. and Lake St. on the City of McCall owned parcel. Prior to final engineering approval, the City and St. Luke's shall establish a formal agreement establishing singular responsibilities and shared responsibilities for snow management within the project area.
  6. **Monuments and Signage:** No signs or monuments have been proposed for the development.

#### **Subdivision and Development Improvement Requirements [MCC Title 9, Chapter 6]**

1. **Streets:** The proposed relocation of Hewitt St. and redevelopment of State St. and Forest St. will be suitable and adequate for the development (see engineering comments below for specifications).

2. **Street Name Signs:** Street name signage will be required for the relocated Hewitt St. to direct emergency service providers.
3. **Street Lighting:** No lighting plan has yet been submitted. Prior to submittal of Planned Unit Development Final Plan application (PUD-18-01) for review by the Planning and Zoning Commission, the applicant shall provide a lighting plan demonstrating that the proposed lighting fixture types and location will meet the provisions of McCall's Outdoor Lighting Ordinance (MCC 3.14) which requires all exterior lighting be downcast and fully shielded.
4. **Sidewalks:** The project includes construction of:
  - d. Sidewalk and/or separated pedestrian path along the north and south side of the relocated Hewitt St.
  - e. Sidewalk along the west side of the reconstructed State St.
  - f. Sidewalk and bike lane along the north side of the reconstructed Forest St.
5. **Drainage Facilities:** As stated in the City Engineer email dated January 25, 2018, submitted conceptual grading and stormwater management plans indicate that the project will likely be able to comply with the City's drainage and management guidelines and final design approval will be required as part of final engineering approval.
6. **Water Supply:** There has been some previous analysis done indicating that additional water line replacement may be needed beneath Hewitt St. (extending further west than currently show on the Preliminary Plat); this will be further analyzed and confirmed by the City's water consultant (SPF Engineers) during the final design.
7. **Sanitary Sewer:** The proposed development is connected to the Payette Lakes Recreational Water and Sewer District (PLRWSD). The District has stated that they will work with the applicant on any proposed sewer line changes.
8. **Dry Lines:** No dry lines are required to be installed.

**9. Underground Power and Telephone:** Per McCall City Code 9.6.02, all utilities shall be installed underground.

**10. Underground Cable:** Per McCall City Code 9.6.02, all utilities shall be installed underground.

**11. Landscaping:** Landscaping is required to screen all parking areas from the public right-of-way.

No landscaping plan has yet been submitted. Prior to submittal of Planned Unit Development Final Plan application (PUD-18-01) for review by the Planning and Zoning Commission, the applicant shall provide a landscaping plan that provides significant landscaping screening of all parking areas and which identifies plant size at the time of installation.

**12. Irrigation Wells:** No irrigation wells are proposed.

**13. Drainage:** As stated in the City Engineer email dated January 25, 2018, submitted conceptual grading and stormwater management plans indicate that the project will likely be able to comply with the City's drainage and management guidelines and final design approval will be required as part of final engineering approval (see agency comments below).

**14. Perimeter Walls, Gates and Berms:** No perimeter walls, gates, or berms are proposed.

**15. Perimeter Fencing:** No perimeter fencing is proposed.

#### **Development Agreement [MCC 9.6.06]**

The developer proposes to submit and record the final plat as soon as possible, therefore deferring the construction of some infrastructure improvements until after recordation of the subdivision final plat. A development agreement with financial assurances will be required prior to execution and recordation of final plat.

#### **Other Provisions Applicable to All Subdivisions and Development [MCC 9.7.09]**

##### **1. Public Places**

- a. Create public places appropriately sized for the community and within walking distance of all citizens.** The hospital is a public facility that is open to all citizens. It is



also located near the city center and will have new sidewalks on all street frontages to encourage walking.

- b. Concentrate community facilities around public "squares" at the intersection of community pathways or streets.** No public squares are proposed.

## **2. Streets and Access**

- a. Orient streets in such a manner as to take advantage of the solar heat and light provided by the sun during winter months.** The realigned Hewitt St. is oriented east-west and will take advantage of solar heat and light.
- b. Provide adequate street rights of way for maximum sunlight penetration and to preserve distant views and create a sense of spaciousness.** The proposed Hewitt St. right-of-way is 50 ft. rather than the standard 60 ft. The existing State St. right-of-way is 50 ft. rather than the standard 60 ft. The existing Forest St. right-of-way is 60 ft., rather than the standard 70 ft. right-of-way.
- c. Establish a connected fabric of streets that respect topographical constraints without resorting to dead ends.** The realigned Hewitt St. maintains a connected street system, rather than creating a dead end.
- d. Encourage planting of street trees to create shade canopies of sidewalks and public streets.** Forest St. will have 4 ft. – 6 ft. of unutilized right-of-way between the sidewalk edge and the property line. The City supports the use of this area by the hospital for additional landscaping and street trees to help screen the adjacent parking lot.
- e. Construct streets in such a manner so as to take advantage of distant views.** No distant significant views are obstructed by the proposed development.

## **3. Visual**

- a. **Identify and preserve unique views.** The development does not disturb any prominent view-sheds.
- b. **Minimize exotic landscaping, the size of building footprints, and the amount of impervious surface devoted to roadways.** The building footprint and impervious surfaces devoted to parking and roadways is significant. Stormwater management improvements will be required to address drainage requirements (see agency comments).
- c. **Where vegetation of the natural landscape is sparse, limit additional landscape plantings, except for native plants.** No landscaping plan has yet been submitted. Landscaping is required to screen all parking areas from the public right-of-way. Prior to submittal of Planned Unit Development Final Plan application (PUD-18-01) for review by the Planning and Zoning Commission, the applicant shall provide a landscaping plan that provides significant landscaping screening of all parking areas and which identifies plant size at the time of installation.
- d. **Where natural vegetation or topography does not allow for "hiding" development, locate structures such that they are subordinate to the horizon and significant view sheds.** Landscaping is required to screen all parking areas from the public right-of-way. Prior to submittal of Planned Unit Development Final Plan application (PUD-18-01) for review by the Planning and Zoning Commission, the applicant shall provide a landscaping plan that provides significant landscaping screening of all parking areas and which identifies plant size at the time of installation.
- e. **Cluster developments in a manner so as to maximize visually significant open space.**

NA

- f. **Nestle structures below ridgelines and with the folds of hills.** The proposed development is not located on a ridgeline or hill.
  - g. **Avoid or mitigate ridge top "skylining" that alters the natural land profiles with built structures.** The proposed development is not located on a ridgeline or hill.
  - h. **Minimize visual clutter within scenic corridors.** The development is not located within a scenic corridor.
  - i. **Design buildings on hillsides to follow the natural terrain in a manner that minimizes earth disturbance.** The proposed development is not located on a ridgeline or hill.
  - j. **Preserve and protect significant foreground views along scenic corridors.** The development is not located within a scenic corridor.
  - k. **Avoid fencing altogether to allow the landscape to flow uninterrupted.** No fencing is proposed.
4. **Site Design**
- a. **Avoid nonnative vegetation and turf landscaping. Maintain existing vegetation and minimize land disturbance and lot grading.** No landscaping plan has yet been submitted. Landscaping is required to screen all parking areas from the public right-of-way. Prior to submittal of Planned Unit Development Final Plan application (PUD-18-01) for review by the Planning and Zoning Commission, the applicant shall provide a landscaping plan that provides significant landscaping screening of all parking areas and which identifies plant size at the time of installation.
  - b. **Limit the size of secondary buildings, including garages.** NA

**DEPARTMENT/AGENCY COMMENTS**

Payette Lake Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the February 6<sup>th</sup> McCall Area Planning and Zoning Commission meeting date. In a letter dated December 14, 2017, PLRWSD stated the following:

1. There are sewer service connections for the existing structure and manholes in the area of construction, the sewer service connection and manholes shall be protected from damage during demolition of the existing structures and construction of the proposed structure to prevent excessive water, or debris from entering the sewer system. Failure to do so will result in the owner/contractor being responsible for any cost incurred by the District for cleaning or removing debris that enters the sewer system.
2. We have met with the representatives of the project and are currently looking into the proposed sewer line changes.
3. Inflows of surface water and excessive infiltration are prohibited. Such prohibited sources of inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day. Storm water connection, sub-water drains, floor drains located within garages, foundation drains, roof drains, swimming pools, street drains, basement drains, sump pumps and abandoned sewer lines.
4. The owner/contractor shall notify the District two (2) business days before connection to the sewer stub.

#### McCall Fire

In an email received December 12, 2017, McCall Fire stated the following:

The fire district will require a fire hydrant to be located on the N. Side of the relocated Hewitt Street, specific location to be determined as the planning evolves. The district will also require a remote FDC on the S. Side of Hewitt Street, near the new fire hydrant. I have been in touch with Mr. Jason Densmer, PE, with the Land Group and he is agreeable to this, including waiting for the specific locations.

The fire district transports people to and from St. Luke's McCall on a daily basis. The proposed expansion will be a benefit to the community of McCall and it will ease access and flow of our ambulances, which will improve the care that we deliver to our community. The improvements in the water system in and around hospital will also have a positive benefit to the community.

Idaho Transportation Department (ITD)

In a letter received December 12, 2017, ITD state the following:

1. This project abuts the State Highway system.
2. This development will gain access to the State Highway system at the SH-55 / West Lake St. Trip generations for the site were not provided. The Idaho Administrative Procedures Act (IDAPA) governs access to state highways. Per IDAPA 39.03.42 rules, when a development generates 100 or more new trips in the peak hour, 1000 or more new trips per day, or the new volume of trips will result from development that equals or exceeds the threshold values in table 2, a traffic impact study shall be required, unless waived by the District Engineer. The applicant will need to indicate the expected trip generations before ITD can make a final determination on requirements of a traffic impact study. The applicant will be responsible to construct any mitigation identified by the traffic impact study.

IDAPA Table 2	
LAND USE TYPE	THRESHOLD VALUE
Residential	100 Dwelling Units
Retail	35,000 square feet
Office	50,000 square feet
Industrial	70,000 square feet
Lodging	100 rooms
School (K-12)	All (Sections 67-6508 & 67-6519, Idaho Code)



3. Idaho Code 40-1910 does not allow advertising within the right-of-way of any State Highway.
4. IDAPA 39.03.60 governs advertising along the State Highway system. The applicant may contact Justin Pond, Program Manager for ITD's Headquarters Right-of-Way Section at 334-8832 for more information.
5. ITD does not object to the expansion and renovation of the McCall Medical Center on this parcel provided the aforementioned access concerns have been addressed.
6. ITD reserves the right to make further comments upon review of any additionally submitted documents.

McCall City Engineer

In an email dated January 24, 2018, the City Engineer stated the following:

Hewitt Street

1. Improvement of Hewitt Street will include all water, sewer, storm sewer and other 3<sup>rd</sup> party utilities within the existing ROW. There has been some previous analysis done indicating that additional water line replacement may be needed (extending further west than currently shown on the Preliminary Plan), and this will be further analyzed and confirmed by the City's water consultant (SPF Engineers) during the final design.
2. Hewitt Street improvements will include 11' wide travel lanes, asphalt or road base shoulders, 6' detached sidewalk, and roadside ditch between the asphalt and sidewalk. The improvements will not include on-street parking, and it may be possible to eliminate a portion of the detached sidewalk on the north side of the street (in the vicinity of the new parking area). The exact street cross section will be determined and agreed to with final design.
3. All Hewitt Street improvements will be designed within a 50' ROW and the applicant will not be required to provide additional dedication for the standard ROW width of 60'.

4. The improvements on the south half of Hewitt must extend further to the west, and at a minimum must provide a fully completed sidewalk connection to the existing sidewalk at the back door of the clinic building.
5. The cost for all improvements on Hewitt will be the responsibility of the applicant.
6. If the comments above are addressed and the responsibilities identified agreed to, Public Works does not have any objection to the vacation of the existing Hewitt Street ROW and proposed realignment.

#### State Street

7. Improvement of State Street will include water line replacement with 8" pipe between Lake Street and Forest Street, storm sewer and inlets to serve both the site and the ROW improvement, and any 3<sup>rd</sup> party utility relocations as necessary.
8. State Street improvements will include (described starting on west ROW line, moving east) 6' attached sidewalk, curb/gutter, 7-8' parking, two 11' drives lanes, and roadside swale with paved driveway approaches (on east portion of ROW). It is believed that full improvement of State Street is warranted with this project due to the utility work needed in the street, the drainage & snow storage needs in this street, and the relief of any additional ROW dedication.
9. All State Street improvements will be designed in the existing 50' ROW and the applicant will not be required to provide additional dedication for the standard ROW width of 60'.
10. The cost for all improvements on State will be the responsibility of the applicant.

#### Forest Street

11. Improvement of Forest Street does not appear to require significant utility work at this time. This will be further analyzed during final design to determine if water line replacement is required. Any storm sewer and inlets needed to address drainage and any 3<sup>rd</sup> party utility relocations will be required as determined in the final design

12. Forest Street improvement generally include the north half of the street, and will include 6' attached sidewalk, curb/gutter, 5' bike lane, and one 11' drive lane. There will be no on-street parking designed on the north half of Forest Street.
13. It is believe that the improvements noted above will create 4' to 6' of open unutilized ROW behind the attached sidewalk. City staff supports the use of this area by the hospital for additional landscaping screening (to help screen the adjacent parking lot).
14. The improvements on the north half of Forest must extend further to the west, and include full reconstruction & improvement of the western hospital parking lot entrance and provide a fully completed sidewalk connection to the existing sidewalk to the southern front door of the clinic building.
15. All Forest Street improvements will be designed in the existing 60' ROW and the applicant will not be required to provide additional dedication for the standard ROW width of 70'.
16. Based on discussion with Matt Kaiserman and Tim Wilcox, additional concerns about safety and functionality exist with parking and pedestrian crossings on Forest Street. During the final design, the need and location of designated pedestrian crossings will be analyzed and will likely be determined as necessary with the improvements. These improvements may trigger further improvement of the south half of Forest Street that may be the responsibility of the applicant.
17. The cost for all improvements of the north half of Forest and for any pedestrian crossing improvements will be the responsibility of the applicant. If additional improvements to the south half of Forest Street are necessary based on the final design, or if drainage/access/pedestrian improvements are determined to be necessary to address the non-conforming parking lots on the south side of Forest, those costs could become the responsibility of the applicant as well. Some portion of the possible improvements on the south half of Forest

may be considered by the City for a cost share agreement depending on the final design approved and the extent of improvements necessary.

#### Drainage Improvements

18. The Storm Drainage Memo submitted provides very conceptual information for addressing the drainage requirements within the site and within the adjacent streets and ROW. All storm sewer, inlets, culverts, ditches, and other drainage improvements will be the responsibility of the applicant.
19. City staff believes the improvement of Bioinfiltration Basin 1 at the south east corner of State and Lake will provide mutual benefit for the hospital site and for the improved street ROW's for Hewitt, State, and Forrest (for drainage/water quality treatment from all improved areas, and for a shared use snow storage area). City staff supports the development of this shared use at the location shown on City owned property. The costs for all associated improvements (storm sewer, inlets, outlet structure, grading, and revegetation) with Bioinfiltration Basin 1 will be the responsibility of the applicant.
20. A Final Drainage Report will be required with the final design submittal and will need to provided significant additional detail and analysis above what is included in the Storm Drainage Memo.

#### Snow Storage, Removal, and Management Responsibilities

21. Based on the improvements discussed above, it is believed that the City will be able to plow snow on all street surfaces of Hewitt (snow to be windrowed and stored in both 6' +/- ditches), State (no snow storage on west half in on-street parking, all snow to be windrowed to proposed ditch on east half of ROW), and Forest (no storage on north half in bike lane, all snow to be windrowed to existing open shoulder on south half of ROW).

22. As snow storage fills up these areas, the City will utilize Bioinfiltration Basin 1 to haul snow to in order to reestablish storage in the ROW.
23. Hospital plowing and snow hauling will generally utilize the areas shown in blue on Sheet EX 3, Proposed Snow Management Plan.
24. Based on the discussions with Tim Wilcox and the City, Hospital plowing and snow hauling may also be able to utilize a portion of the storage capacity in Bioinfiltration Basin 1 through careful coordination and communication with City staff.
25. The proposed street improvements will result in limited snow storage within the ROW and such storage will likely present conflicts with sidewalk and private driveway/parking lot snow removal. Therefore, the City and the applicant recognize that snow hauling from the ROW into adjacent snow storage areas will be required. Based on discussions with Tim Wilcox and the City, both parties agree that cooperative responsibilities to relocate stockpiled snow from ROW areas (roadside swales and parking lanes) will be necessary to successfully manage snow both private and public snow removal operations. Prior to final engineering approval, the City and St. Luke's shall establish a formal agreement establishing singular responsibilities (i.e. City will plow drive lanes, St. Luke's will plow sidewalks) and shared responsibilities (i.e. stored snow hauling).

#### Development Agreements

26. A formal development agreement (and potential Escrow Agreement for performance guarantees) identifying all construction costs will be required prior to the start of construction on Hewitt Street.
27. An additional Development Agreement for other public infrastructure on State and Forest will be required with a future application.



There are numerous other details that will need to be worked out and modified with the final design plans submitted for review. The intent of this review is to capture major issues and challenges, and provide a basis for concurrence moving forward. If the level of improvements and the responsibility for completion of those improvements as outlined above are agreed to by the applicant, it appears likely that the project will conform with the City's engineering requirements as the project moves forward into final design.

### **CONCLUSIONS OF LAW**

1. The City of McCall has provided for the processing of application for Subdivision, authorized by Section 67-6512, Idaho Code, pursuant to Title 3, Chapter 13 of McCall City Code.
2. Adequate notice of the February 6, 2018 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Subdivision Standards set forth in Title 9 of McCall City Code.

### **DECISION**

**THEREFORE**, the McCall Area Planning and Zoning Commission hereby **recommends** this Subdivision application for **approval** by the McCall City Council, provided that the following conditions are met:

1. Approval of this Subdivision Preliminary Plat (SUB-18-01) application shall be contingent upon approval of the associated Hewitt St. Vacation of Right of Way application (VAC-18-01) and Planned Unit Development General Plan (PUD-18-01) by McCall City Council.
2. Prior to submittal of Planned Unit Development Final Plan application (PUD-18-01) for review by the Planning and Zoning Commission, the applicant shall provide a landscaping plan that provides significant landscaping screening of all parking and which identifies plant size at the time of installation.

3. Prior to final engineering approval, the City and St. Luke's shall establish a formal agreement establishing singular responsibilities and shared responsibilities for snow management within the project area. A full set of as built (record) drawings of all improvements intended for public use and maintenance, including, but not limited to, water and sewer lines, and including also private and public streets, shall be furnished to the City within sixty (60) days of completion of the construction.
4. Pursuant to MCC 9.2.07(B), the applicant shall submit a Final Plat for the project no later than seven (7) years after the final approval of the Preliminary Plat. Any changes to, or extensions of, this timeframe shall require approval by the McCall Area Planning and Zoning Commission and McCall City Council.
5. A full set of as built (record) drawings of all improvements intended for public use and maintenance, including, but not limited to, water and sewer lines, and including also private and public streets, shall be furnished to the city for the permanent records of the city within sixty (60) days of completion of the construction.
6. Prior to submittal of St. Luke's Subdivision Final Plat application (SUB-18-01) for review by the McCall Area Planning and Zoning Commission, the applicant shall revise the plat to include additional sidewalk along the southwest portion of Hewitt St. connecting to the footpath leading to the back door of Payette Lakes Medical Clinic.
7. Prior to submittal of the St. Luke's Subdivision Final Plat application (SUB-18-01) for review by the McCall Area Planning and Zoning Commission, the applicant shall revise the plat to include reconstruction of all of State St., per engineering specifications listed above (see engineering comments).
8. Prior to submittal of the St. Luke's Subdivision Final Plat application (SUB-18-01) for review by the McCall Area Planning and Zoning Commission, the application shall revise the plat to include reconstruction of Forest St., from at least the center line, to include drive lane, bike land, curb gutter

and side walk, and right-of-way landscaping per agency comments above. Additionally, the sidewalk proposed on the north side of Forest St. shall be extended to the west up to the Payette Medical Clinic access.

9. Prior to submittal of St. Luke's Subdivision Final Plat application (SUB-18-01) for review by the McCall Area Planning and Zoning Commission, the applicant shall submit expected trip generations to the Idaho Department of Transportation to determine whether a traffic impact study will be required (see agency comments above).
10. Prior to any site grading or disturbance, the applicant shall obtain final engineering approval from the McCall City Engineer of project final civil designs and drainage plans (see Agency Comments).
11. Prior to any site grading or disturbance, the applicant shall execute and record the St. Luke's Subdivision Final Plat with the Valley County Recorder's Office.
12. Prior to final acceptance of the road and water infrastructure by the City of McCall, the applicant shall obtain approval from McCall Fire for required improvements (see agency comments above).
13. Prior to issuance of a building permit, the applicant shall receive final approval and acceptance from the City of McCall and from Payette Lakes Recreational Water and Sewer District for all water, sewer, and road infrastructure.
14. Prior to execution and recordation of the Subdivision Final Plat, the applicant shall provide digital files of the plat in accordance with the McCall Digital Data Submission Standards.
15. Prior to execution and recordation of the Subdivision Final Plat, the applicant shall obtain approval of a Development Agreement with the City and shall provide financial assurances for any deferred improvements related to Forest St. and State St.
16. Prior to any site grading or disturbance, the applicant shall obtain final engineering approval from the McCall City Engineer of project final civil designs.

17. Pursuant to McCall City Code (MCC 9.2.06.H), preliminary subdivision plat approval shall lapse and become void whenever the applicant has not applied for final plat approval within eighteen (18) months from the date of preliminary plat approval by McCall City Council.
18. The applicant shall underground all utilities within the project as well as any overhead utilities (MCC 9.6.02) located along Hewitt St., State St., and Forest St.
19. Prior to submittal of Planned Unit Development Final Plan application (PUD-18-01) for review by the Planning and Zoning Commission, the applicant shall provide a lighting plan demonstrating that the proposed lighting fixture types and location will meet the provisions of McCall's Outdoor Lighting Ordinance (MCC 3.14) which requires all exterior lighting be downcast and fully shielded.

Findings of Fact **adopted** this 6<sup>th</sup> day of February, 2018.

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Fallon Fereday, Chair  
McCall Area Planning and Zoning Commission

Attest:

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Morgan Bessaw, City Planner  
City of McCall

IN RE: )  
)  
Hewitt St. Relocation )  
Vacation of Right-of-Way )  
)  
)  
Application Number: )  
VAC-18-01

**McCALL AREA PLANNING AND ZONING COMMISSION  
FINDINGS OF FACT, CONCLUSIONS OF LAW, AND  
ORDER OF VACATION OF RIGHT-OF-WAY**

### FINDINGS OF FACTS

**Applicant:** St. Luke’s McCall

**Representative(s):** The Land Group Inc.

**Application:** A petition for vacation of a portion of the existing Hewitt St. public right-of-way to allow for the relocation of the right of way through an existing residential parcel and connecting to the existing alley way one block north. The relocation allows for the St. Luke’s Hospital expansion.

**Companion Application(s):** Planned Unit Development General Plan (PUD-18-01), Subdivision Preliminary Plat (SUB-18-01), and Zoning Map Amendment (ZON-18-01) applications.

**Location:** Lots 1, 2, 3 and 4 Block G and Lots 1, 2, 3 and 4 Block F in Brundage Subdivision situate in S8, T18N, R3E, BM, Valley County, Idaho

**Public Notices:** Newspaper: The Notice of Hearing was published in the *Star News* on January 18, 2018.  
Mailing: The applicant mailed the Notice of Hearing to property owners within 300 feet on January 18, 2018.  
Posting: The applicant posted the Notice of Hearing on the subject parcel on January 19, 2018.

**Zoning Districts:** The surrounding properties are zoned CV – Civic.



## **FINDINGS OF FACT**

The McCall Area Planning and Zoning Commission hereby finds that vacation and relocation of the portion of public right of way known as Hewitt St. is in the public interest as it preserves public access to State St. and allows for the expansion of St. Luke’s McCall Hospital, providing greater flexibility within the proposed development.

## **DEPARTMENT/AGENCY COMMENTS**

### Payette Lake Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the February 6<sup>th</sup> McCall Area Planning and Zoning Commission meeting date. In a letter dated December 14, 2017, PLRWSD stated the following:

1. There are sewer service connections for the existing structure and manholes in the area of construction, the sewer service connection and manholes shall be protected from damage during demolition of the existing structures and construction of the proposed structure to prevent excessive water, or debris from entering the sewer system. Failure to do so will result in the owner/contractor being responsible for any cost incurred by the District for cleaning or removing debris that enters the sewer system.
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In a letter received December 12, 2017, ITD state the following:

1. This project abuts the State Highway system.
2. This development will gain access to the State Highway system at the SH-55 / West Lake St. Trip generations for the site were not provided. The Idaho Administrative Procedures Act (IDAPA) governs access to state highways. Per IDAPA 39.03.42 rules, when a development generates 100 or more new trips in the peak hour, 1000 or more new trips per day, or the new volume of trips will result from development that equals or exceeds the threshold values in table 2, a traffic impact study shall be required, unless waived by the District Engineer. The applicant will need to indicate the expected trip generations before ITD can make a final determination on requirements of a traffic impact study. The applicant will be responsible to construct any mitigation identified by the traffic impact study.

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3. Idaho Code 40-1910 does not allow advertising within the right-of-way of any State Highway.
4. IDAPA 39.03.60 governs advertising along the State Highway system. The applicant may contact Justin Pond, Program Manager for ITD's Headquarters Right-of-Way Section at 334-8832 for more information.
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McCall City Engineer

In an email dated January 24, 2018, the City Engineer stated the following:

**Hewitt Street**

1. Improvement of Hewitt Street will include all water, sewer, storm sewer and other 3<sup>rd</sup> party utilities within the existing ROW. There has been some previous analysis done indicating that additional water line replacement may be needed (extending further west than currently shown

on the Preliminary Plan), and this will be further analyzed and confirmed by the City's water consultant (SPF Engineers) during the final design.

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3. All Hewitt Street improvements will be designed within a 50' ROW and the applicant will not be required to provide additional dedication for the standard ROW width of 60'.
4. The improvements on the south half of Hewitt must extend further to the west, and at a minimum must provide a fully completed sidewalk connection to the existing sidewalk at the back door of the clinic building.
5. The cost for all improvements on Hewitt will be the responsibility of the applicant.
6. If the comments above are addressed and the responsibilities identified agreed to, Public Works does not have any objection to the vacation of the existing Hewitt Street ROW and proposed realignment.

#### State Street

7. Improvement of State Street will include water line replacement with 8" pipe between Lake Street and Forest Street, storm sewer and inlets to serve both the site and the ROW improvement, and any 3<sup>rd</sup> party utility relocations as necessary.
8. State Street improvements will include (described starting on west ROW line, moving east) 6' attached sidewalk, curb/gutter, 7-8' parking, two 11' drives lanes, and roadside swale with paved driveway approaches (on east portion of ROW). It is believed that full improvement of

State Street is warranted with this project due to the utility work needed in the street, the drainage & snow storage needs in this street, and the relief of any additional ROW dedication.

9. All State Street improvements will be designed in the existing 50' ROW and the applicant will not be required to provide additional dedication for the standard ROW width of 60'.
10. The cost for all improvements on State will be the responsibility of the applicant.

#### Forest Street

11. Improvement of Forest Street does not appear to require significant utility work at this time. This will be further analyzed during final design to determine if water line replacement is required. Any storm sewer and inlets needed to address drainage and any 3<sup>rd</sup> party utility relocations will be required as determined in the final design
12. Forest Street improvement generally include the north half of the street, and will include 6' attached sidewalk, curb/gutter, 5' bike lane, and one 11' drive lane. There will be no on-street parking designed on the north half of Forest Street.
13. It is believe that the improvements noted above will create 4' to 6' of open unutilized ROW behind the attached sidewalk. City staff supports the use of this area by the hospital for additional landscaping screening (to help screen the adjacent parking lot).
14. The improvements on the north half of Forest must extend further to the west, and include full reconstruction & improvement of the western hospital parking lot entrance and provide a fully completed sidewalk connection to the existing sidewalk to the southern front door of the clinic building.
15. All Forest Street improvements will be designed in the existing 60' ROW and the applicant will not be required to provide additional dedication for the standard ROW width of 70'.
16. Based on discussion with Matt Kaiserman and Tim Wilcox, additional concerns about safety and functionality exist with parking and pedestrian crossings on Forest Street. During the final



design, the need and location of designated pedestrian crossings will be analyzed and will likely be determined as necessary with the improvements. These improvements may trigger further improvement of the south half of Forest Street that may be the responsibility of the applicant.

17. The cost for all improvements of the north half of Forest and for any pedestrian crossing improvements will be the responsibility of the applicant. If additional improvements to the south half of Forest Street are necessary based on the final design, or if drainage/access/pedestrian improvements are determined to be necessary to address the non-conforming parking lots on the south side of Forest, those costs could become the responsibility of the applicant as well. Some portion of the possible improvements on the south half of Forest may be considered by the City for a cost share agreement depending on the final design approved and the extent of improvements necessary.

#### Drainage Improvements

18. The Storm Drainage Memo submitted provides very conceptual information for addressing the drainage requirements within the site and within the adjacent streets and ROW. All storm sewer, inlets, culverts, ditches, and other drainage improvements will be the responsibility of the applicant.
19. City staff believes the improvement of Bioinfiltration Basin 1 at the south east corner of State and Lake will provide mutual benefit for the hospital site and for the improved street ROW's for Hewitt, State, and Forrest (for drainage/water quality treatment from all improved areas, and for a shared use snow storage area). City staff supports the development of this shared use at the location shown on City owned property. The costs for all associated improvements (storm sewer, inlets, outlet structure, grading, and revegetation) with Bioinfiltration Basin 1 will be the responsibility of the applicant.

20. A Final Drainage Report will be required with the final design submittal and will need to provided significant additional detail and analysis above what is included in the Storm Drainage Memo.

#### Snow Storage, Removal, and Management Responsibilities

21. Based on the improvements discussed above, it is believed that the City will be able to plow snow on all street surfaces of Hewitt (snow to be windrowed and stored in both 6' +/- ditches), State (no snow storage on west half in on-street parking, all snow to be windrowed to proposed ditch on east half of ROW), and Forest (no storage on north half in bike lane, all snow to be windrowed to existing open shoulder on south half of ROW).
22. As snow storage fills up these areas, the City will utilize Bioinfiltration Basin 1 to haul snow to in order to reestablish storage in the ROW.
23. Hospital plowing and snow hauling will generally utilize the areas shown in blue on Sheet EX 3, Proposed Snow Management Plan.
24. Based on the discussions with Tim Wilcox and the City, Hospital plowing and snow hauling may also be able to utilize a portion of the storage capacity in Bioinfiltration Basin 1 through careful coordination and communication with City staff.
25. The proposed street improvements will result in limited snow storage within the ROW and such storage will likely present conflicts with sidewalk and private driveway/parking lot snow removal. Therefore, the City and the applicant recognize that snow hauling from the ROW into adjacent snow storage areas will be required. Based on discussions with Tim Wilcox and the City, both parties agree that cooperative responsibilities to relocate stockpiled snow from ROW areas (roadside swales and parking lanes) will be necessary to successfully manage snow both private and public snow removal operations. Prior to final engineering approval, the City and St. Luke's shall establish a formal agreement establishing singular responsibilities (i.e. City will plow

drive lanes, St. Luke's will plow sidewalks) and shared responsibilities (i.e. stored snow hauling).

#### Development Agreements

26. A formal development agreement (and potential Escrow Agreement for performance guarantees) identifying all construction costs will be required prior to the start of construction on Hewitt Street.

27. An additional Development Agreement for other public infrastructure on State and Forest will be required with a future application.

There are numerous other details that will need to be worked out and modified with the final design plans submitted for review. The intent of this review is to capture major issues and challenges, and provide a basis for concurrence moving forward. If the level of improvements and the responsibility for completion of those improvements as outlined above are agreed to by the applicant, it appears likely that the project will conform with the City's engineering requirements as the project moves forward into final design.

#### **STATEMENT OF LEGAL AUTHORITY AND CONCLUSIONS OF LAW**

1. The City of McCall has provided for the processing of application for Vacation of a Right-of-Way or Easement, authorized by Section 50-1325, Idaho Code, pursuant to Title 9, Chapter 9 of McCall City Code.
2. Adequate notice of the February 6, 2018 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.

## DECISION

**THEREFORE**, the McCall Area Planning and Zoning Commission hereby **recommends** this Vacation of Right-of Way application for **approval** by the McCall City Council, provided that the following conditions are met:

1. Approval of this Vacation of Right of Way application shall be contingent upon approval of the St. Luke's Subdivision Preliminary Plat (SUB-18-01) and Planned Unit Development General Plan (PUD-18-01).
2. Prior to scheduling of the application for City Council review, the applicant shall provide a legal description of the portion of the Hewitt St. right of way proposed for vacation.
3. Prior to scheduling of the application for City Council review, the applicant shall prepare for City review all necessary paperwork to execute any deed to transfer title to the vacated street.
4. Prior to scheduling of this Hewitt St. Vacation of Right-of-Way application before McCall City Council, the applicant shall submit St. Luke's Subdivision Final Plat application (SUB-18-01) for review by McCall City Council.
5. Prior to scheduling of this Hewitt St. Vacation of Right-of-Way application before McCall City Council, the applicant shall submit a development agreement with financial guarantees for the development of all public infrastructure associated with the relocation of Hewitt St.
6. In order to address snow and stormwater management associated with the development of Hewitt St., the applicant shall bear the costs of constructing a bio-infiltration basin on the southeast corner of the intersection of State and Lake St., on City of McCall property. The costs of such infrastructure shall be included in the Hewitt St. Development Agreement.
7. Prior to any site grading or disturbance, the applicant shall obtain final engineering approval from the McCall City Engineer of project final civil designs and drainage plans (see Agency Comments).

8. Prior to any site grading or disturbance, the applicant shall execute and record the St. Luke's Subdivision Final Plat with the Valley County Recorder's Office.
9. Prior to final acceptance of the road and water infrastructure by the City of McCall, the applicant shall obtain approval from McCall Fire for required improvements (see agency comments above).
10. Prior to issuance of a building permit, the applicant shall receive final approval and acceptance from the City of McCall and from Payette Lakes Recreational Water and Sewer District for all water, sewer, and road infrastructure.

Findings of Fact **adopted** this 6<sup>th</sup> day of February, 2018.

---

Fallon Fereday, Chair  
McCall Area Planning and Zoning Commission

Attest:

---

Morgan Bessaw, City Planner  
City of McCall



IN RE: )  
)  
) **McCALL AREA PLANNING AND ZONING COMMISSION**  
) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**  
**St. Luke's McCall Rezone** ) **DECISION**  
**Zoning Map Amendment** )  
)  
**Application Number:** )  
**ZON-18-01** )

**FINDINGS OF FACTS**

**Applicant:** St. Luke's McCall

**Representative(s):** The Land Group Inc.

**Application:** Zoning Map Amendment application to change the zoning of a parcel currently zoned R4 – Low Density Residential, to CV – Civic, to be utilized for the St. Luke's McCall Hospital expansion.

**Companion Application(s):** Planned Unit Development General Plan (PUD-18-01), Subdivision Preliminary Plat (SUB-18-01), and Vacation of Right-of-Way (VAC-18-01) applications.

**Address:** 205 Hewitt St.

**Location:** Lots 3 and 4, Block F, Brundage Subdivision, situate in S8, T18N, R3E, BM, McCall, Valley County, Idaho.

**Public Notices:** Newspaper: The Notice of Hearing was published in the *Star News* on January 18, 2018.

Mailing: The applicant mailed the Notice of Hearing to property owners within 300 feet on January 18, 2018.

Posting: The applicant posted the Notice of Hearing on the subject parcel on January 19, 2018.

**Zoning:** The subject parcel is currently zoned R4 – Low Density Residential. The application proposes to amend the zoning to CV – Civic.

### **APPROVAL STANDARDS**

#### **Title 3, Chapter 13**

**The applicant may be required to submit an environmental assessment prior to approval of a zoning map change, when in the judgment of the commission the change would permit operations, materials, or activities which would constitute a potential threat to public health, safety and welfare or to the quality of the environment.** The proposed zoning change will not permit operations, materials or activities which would constitute a potential threat to public health, safety and welfare or the quality of the environment.

**Upon receipt of a request for amendment to the zoning ordinance, or for amendments of the zoning map, the commission shall determine if the proposed change would also require an amendment to the comprehensive plan.** The Future Land Use Plan within the McCall Area Comprehensive Plan indicates the subject parcels as Civic Zone. Therefore, the proposed zoning amendment is consistent with the McCall Area Comprehensive Plan and no amendment is necessary.

### **DEPARTMENT/AGENCY COMMENTS**

No agency or department comments have been received regarding the proposed zoning amendment.

### **CONCLUSIONS OF LAW**

1. The City of McCall has provided for initiation of amendments to the zoning map, authorized by Section 67-6511, Idaho Code, pursuant to Title 3, Chapter 13 of McCall City Code.
2. Adequate notice of the February 6, 2018 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.

**DECISION**

**THEREFORE**, the McCall Area Planning and Zoning Commission hereby **recommends** this Zoning Map Amendment application for **approval** by the McCall City Council.

Findings of Fact **adopted** this 6<sup>th</sup> day of February, 2018.

---

Fallon Fereday, Chair  
McCall Area Planning and Zoning Commission

Attest:


---

Morgan Bessaw  
City Planner

**City of McCall**  
216 East Park Street  
McCall, Idaho 83638  
P.208.634.7142

**LAND USE APPLICATION**

NOV 29 2017  
CK 6010240162  
BY: \$7,550.00



**City of McCall**  
COMMUNITY DEVELOPMENT

Date Received:  
11/28/2017  
Fees Paid:  
\$7,550.00

**NOTICE OF ADDITIONAL FEES**

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

**Please check all that apply:**

- # \_\_\_\_\_ Record of Survey (ROS) - \$420
- # \_\_\_\_\_ Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # \_\_\_\_\_ Scenic Route (SR) - \$300
- # \_\_\_\_\_ Shoreline or River Environs (SH) - \$300
- # \_\_\_\_\_ Conditional Use Permit (CUP) - \$600
- # \_\_\_\_\_ Administrative Approval (AA) - \$50
- # PUD-18-01 Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit <sup>+2</sup>
- # \_\_\_\_\_ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # SUB-18-01 Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit <sup>+2</sup>
- # \_\_\_\_\_ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # \_\_\_\_\_ Minor Plat Amendment - \$1,000
- # \_\_\_\_\_ Variance (VAR) - \$1,000
- # ZON-18-01 Rezone (ZON) - \$1,500
- # \_\_\_\_\_ Zoning Code Amendment (CA) - \$750/title
- # \_\_\_\_\_ Annexation - \$3,000
- # VAC-18-01 Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

**PROPERTY OWNER INFORMATION**

Property Owner 1: St Lukes McCall / Sean McCallister Email: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Property Owner 2 (If Applicable): McCall Memorial Hospital District Email: same as above  
Mailing Address: 1000 State Street, McCall, ID 83638 Phone: \_\_\_\_\_

**AGENT/AUTHORIZED REPRESENTATIVE INFORMATION**

Applicant/Representative: Jason Densmer, The Land Group, Inc Email: jason@thelandgroupinc.com  
Mailing Address: 462 E. Shore Drive, Ste 100, Eagle, ID 83616 Phone: 208.939.4041

**PROPERTY INFORMATION**

Address(es) of Property: See Exhibit A  
Legal Description of Property: See Exhibit A  
Zoning District of Property: CV & R4 Project Sq. Footage (If Applicable): \_\_\_\_\_  
Impact Area  City Limits  Residential  Commercial









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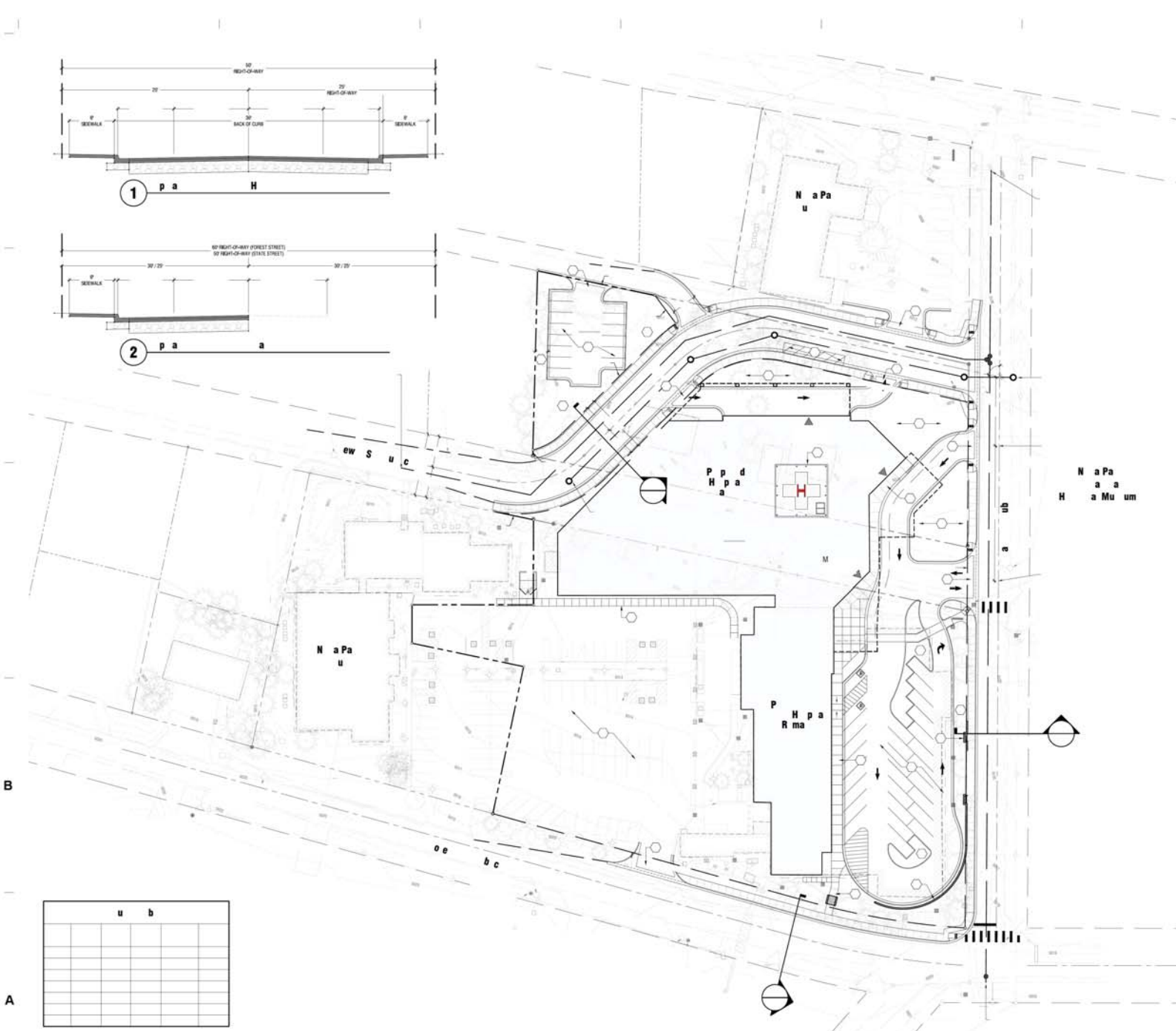
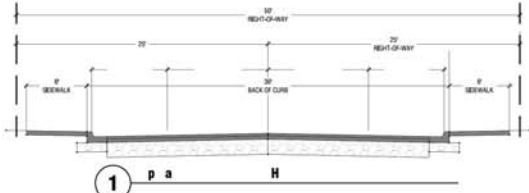
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R M D H  
HUMMEL  
Boston, MA 02108  
Tel: 617.552.1200  
Fax: 617.552.1201

 St Luke's

**Exi ing  
Con itio s  
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**P 1 00**



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Preliminary Plat & Site Plan



P a

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THE LAND GROUP, INC.

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St Luke's

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HUMMEL

Survey, Mapping & GIS

2009-2012

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Preliminary Plat & Site Plan

---

P 200

St Luke's Subdivision - Annual Development & Maintenance Plan

R M D H

St Luke's

P 200



Date:	January 8, 2018	From:	Jason Densmer
Project:	St. Luke's McCall Medical Center – Preliminary Plat & PUD		
To:	Morgan Bessaw, City Planner St. Luke's project team		
Re:	Supplementary Information – Parking Analysis, Snow Management		

Morgan:

Please accept the following information to supplement the St. Luke's Subdivision Preliminary Plat & PUD application currently under review by the City. This information is being furnished in response to the questions raised by City staff during our meeting on Dec. 20, 2017. Supplemental information is being compiled regarding parking capacity, snow management, storm drainage and the proposed helistop. This memo focuses on the first two items, with the storm drainage and helistop information to be provided separately.

### Parking Analysis

McCall Code (§ 3.8.062) requires development to provide adequate parking. For the hospital land use, one parking space is required for each bed, and one space for every two employees. For the proposed expansion of the McCall Medical Center, city-required parking would be calculated as:

17 proposed beds	X	1 parking space per bed	=	17 spaces
110 employees <sup>1</sup>	X	1 parking space per two employees	=	55 spaces
<b>Total Required Parking:</b>				<b>72 spaces</b>

From its experience operating the McCall hospital and other similar facilities, St. Luke's knows that the city-required parking is insufficient and provides additional parking.

### Existing Conditions

The attached Ex 1 summarizes the parking areas currently used by patients, employees and visitors. Parking areas affected within the boundary of the preliminary plat/PUD application are highlighted and provide 105 existing spaces, including 47 spaces primarily used by employees at an unpaved lot along State Street. The Hospital Parking Area is shared with parking for the Payette Lakes Medical Clinic (PLMC), which provides 32 adjacent spaces, which are not within the PP/PUD affected area.

Since May 2017, St. Luke's has periodically measured usage of the various parking areas around the McCall Medical Center. Recorded counts of how many vehicles were observed in the various lots are summarized by the attached log. Parking in the 85-space lot shared by the hospital and PLMC was not counted

<sup>1</sup> St. Luke's current maximum employee census within the hospital will be 101 persons if every department was staffed at maximum level, including physicians, and additional staff were brought in for special circumstances such as baby deliveries. Staffing of the new facility is expected to be the same, except for the addition of 6 nurses and 2-3 persons for additional registration and EVS capacity. Therefore, 110 employees is used for the maximum anticipated employee census.



separately. Across the 137 available spaces in the PP/PUD affected area, the maximum parking usage was 94 vehicles, indicating that an excess capacity of approximately 43 spaces exists.

## Proposed Conditions

### Off-street Parking

The proposed St. Luke's McCall Medical Center expansion will result in improvements to parking for the facility. At completion, three parking areas will be developed within the PP/PUD affected area as shown by the attached Ex 2:

- Hospital Parking Area is expected to be reconfigured and modernized. Final design is yet to be determined, but it is anticipated that the reconfigured lot will provide approximately 49 spaces. These will continue to be shared with the 32 spaces of the adjacent PLMC for a total capacity of 81 spaces in this area.
- A new parking area north of the realigned Hewitt Street will accommodate 14 vehicles.
- A new parking area between the hospital and State Street will accommodate 28 vehicles.

In total, the PP/PUD affected parking areas provide 91 spaces. When combined with the adjacent 32 spaces at PLMC, 123 spaces are available to the areas historically requiring a maximum parking capacity of 94 vehicles.

### On-street Parking

Reconstruction of Hewitt Street and improvements to the property frontages on State and Forest Street will be completed to city standards, which provide for on-street parking. Because St. Luke's parking demands are met by the on-site parking discussed above, the on-street parking is considered supplementary and provides parking alternatives to the public visiting the area. The number of vehicles which can be accommodated in on-street parking has not been determined and will vary depending on final design decisions made in conjunction with the City.

## Conclusion

McCall Code requires 72 parking spaces to support the proposed hospital expansion, but St. Luke's estimates actual demand will require approximately 94 vehicle spaces at the hospital and shared parking with the PLMC, based on historically measured usage. The proposed improvements meet this need with 123 on-site spaces, all proposed to be improved and paved. The proposed parking exceeds the code requirement by 51 spaces and exceeds St. Luke's expected demand by 29 spaces.

## Snow Management Plan

The attached Ex 3 provides an overview of St. Luke's proposed snow management strategy following development of the Medical Center Expansion. This strategy incorporates the following concepts:

- Parking lanes within the proposed roadway improvements are not needed to meet St. Luke's parking needs. These can therefore be used by the City to meet snow-storage needs from the proposed roadways.
- The southerly boundary of the Hospital Area parking area can accommodate snow storage within an area of approximately 3,100-sf. This area normally accommodates 9 parking spaces, but is equivalent to approximately 18 spaces of snow storage due to access to the adjacent landscape area.





- The Hewitt Street parking area of 14 spaces provides an area of 5 parking spaces for snow storage, partially on two spaces of the parking surface and on adjacent landscape area.
- Areas leased by St. Luke's within the museum property east of State Street are available for winter-season snow storage. This area is equivalent to 10 parking spaces.
- A portion of the unpaved parking areas identified west of the Allen Nokes property are available for St. Luke's snow storage. As unpaved lots, the all-weather gravel surface is well-suited to snow storage and helps reduce stormwater runoff.
- As required, St. Luke's can pursue other off-property snow storage sites as required by the varying annual snow conditions.

### Conclusion

St. Luke's expansion plan provides adequate spaces to accommodate the project's snow storage requirements.



St. Luke's McCall Medical Center  
**Parking Analysis**

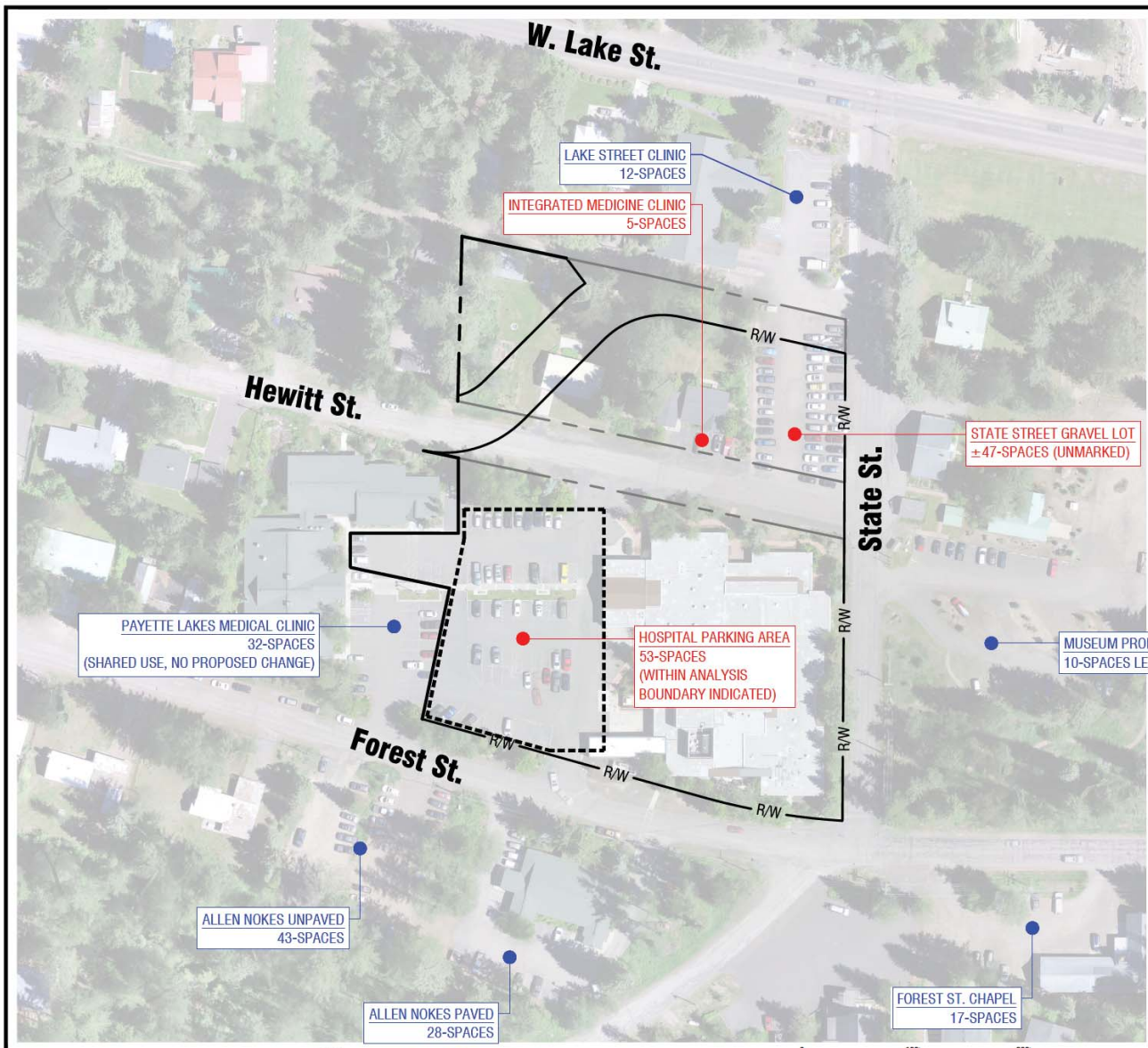
**Parking Lot Counts**

		Parking Areas											
		PP/PUD Affected Areas				Unaffected Areas							
		Hospital & Clinic	Integrated Medicine Clinic	State Street	Sub-area Total Usage	Lake Street Clinic	Allen Nokes		Forest St. Chapel	Museum Property	Total Usage		
Type		<i>Paved</i>	<i>Paved</i>	<i>Unpaved</i>		<i>Paved</i>	<i>Paved</i>	<i>Unpaved</i>	<i>Unpaved</i>	<i>Unpaved</i>			
Total Spaces		85	5	47	137	12	28	43	17	10	247		
Date												Employees	Patients
1-May-17		38	2	42	82	8	10	23	8	10	141	100	48
24-May-17		28	2	42	72	12	12	25	5	15	141	106	42
1-Jun-17		32	1	43	76	6	7	24	10	12	135	103	39
6-Jun-17		46	2	46	94	3	13	29	6	13	158	94	64
15-Jun-17		44	4	46	94	5	16	25	4	24	168	106	69
27-Jun-17		30	2	47	79	2	14	30	6	15	146	112	49
10-Jul-17		44	1	40	85	4	18	36	8	13	164	104	67
14-Jul-17		30	2	40	72	4	13	33	3	18	143	101	49
18-Jul-17		44	3	47	94	5	15	39	6	12	171	111	67
28-Jul-17		39	0	41	80	2	16	28	6	12	144	94	57
9-Aug-17		32	1	44	77	5	12	35	4	7	140	97	50
17-Aug-17		38	2	47	87	3	15	38	5	22	170	119	58
28-Aug-17		28	2	38	68	4	16	29	6	10	133	90	50
6-Sep-17		24	2	47	73	3	17	36	5	17	151	112	46
18-Sep-17		44	0	35	79	3	16	36	5	11	150	94	63
26-Sep-17		49	2	43	94	6	19	43	15	15	192	123	76
3-Jan-18		42	1	47	90	1	16	38	5	13	163	105	58

Notes:

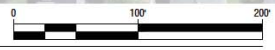
- 1 Parking usage counted by St. Luke's staff periodically during 2017. Data represents typical conditions.
- 2 Maximum counted parking usage for each parking area is highlighted with red text/red outline.
- 3 Blue highlighted dates indicate winter season.
- 4 "Hospital & Clinic" area of 85 spaces includes 53 spaces for hospital within PP/PUD Affected Area and 32 spaces at Payette Lakes Medical Clinic which are unaffec

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 User: jcd  
 Date Plotted: Monday, January 9, 2018 at 11:54 AM



**Existing Conditions**

HORIZONTAL SCALE: 1" = 100'



**Notes:**

- EXISTING PARKING PROVIDED AT ST. LUKE'S MCCALL MEDICAL CENTER:  
 HOSPITAL PARKING AREA = 53 SPACES  
 STATE STREET GRAVEL LOT = ±47 SPACES  
 INTEGRATED MEDICINE CLINIC = 5 SPACES  
 TOTAL PARKING PROVIDED = 105 SPACES

**Legend:**

- |      |
|------|
| NAME |
| SIZE |

 PARKING AREA WITHIN PP/PUD AFFECTED AREA
- |      |
|------|
| NAME |
| SIZE |

 OTHER PARKING AREA NOT AFFECTED BY PP/PUD



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Project Name: **St. Luke's McCall Medical Center  
 Planned Unit Development &  
 Preliminary Plat**  
 Idaho  
 McCall

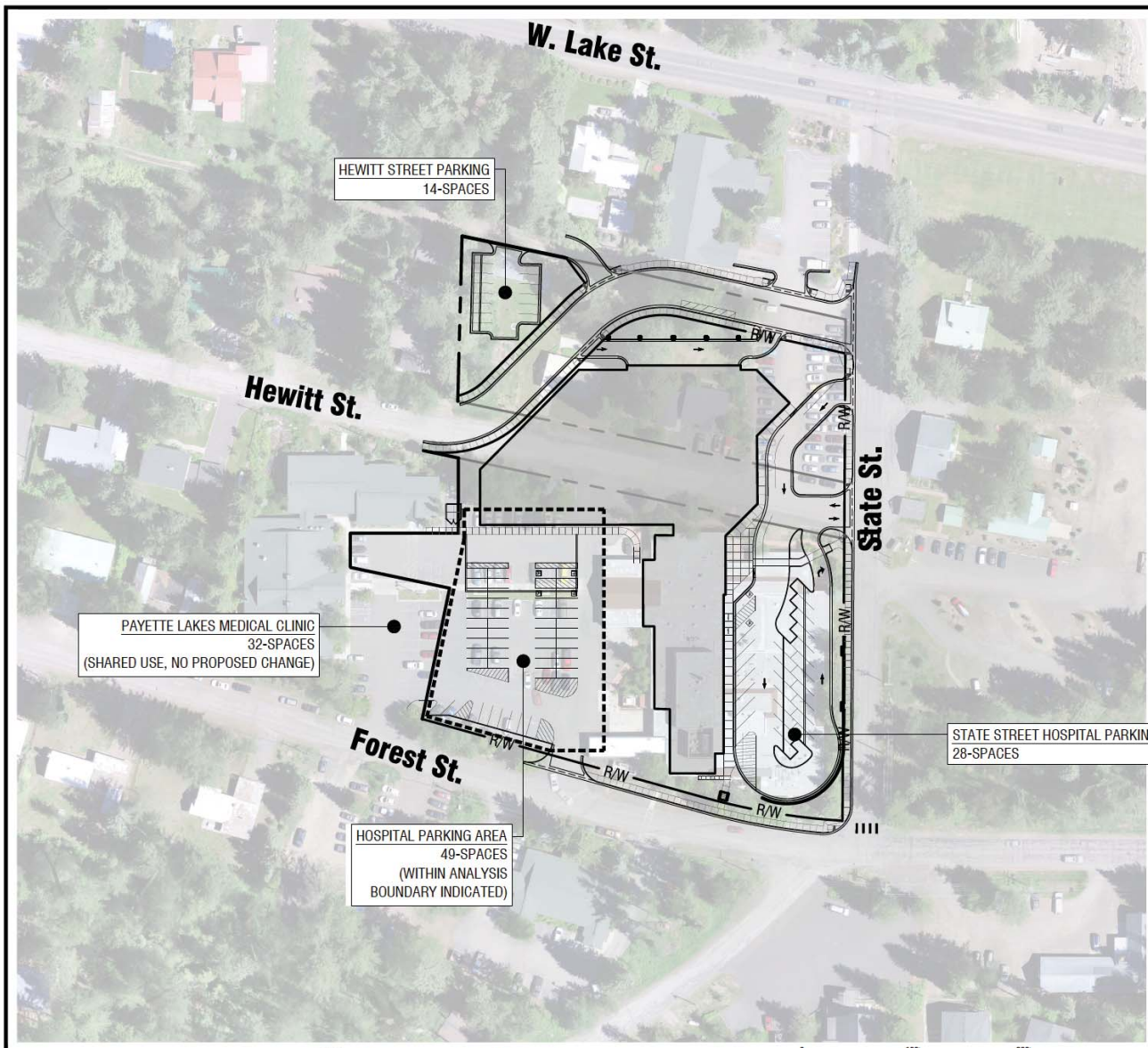
Sheet Title: **Parking Analysis  
 Existing Conditions**

**THE LAND GROUP**  
 INCORPORATED  
442 East Shure Drive, Suite 100  
 Eagle, Idaho 83616  
 PH: 208.333.4444 Fax: 208.333.4445  
 www.thelandgroup.com

Project No.: 116038  
 Date of Issuance: 01-09-2018  
 Designed by: TLG  
 Checked by: JCD  
 Sheet No.:

**Ex 1**





**Proposed Buildout**  
 HORIZONTAL SCALE: 1" = 100'

**Notes:**

- CODE-REQUIRED PARKING:**
- PER MCCALL CITY CODE, SECTION 3.8.062, THE REQUIRED OFF-STREET PARKING WITHIN THE ANALYSIS AREA IS (HOSPITAL USE):  
 \*1 FOR EACH BED AND 1 FOR EVERY 2 EMPLOYEES\*.
  - PROPOSED HOSPITAL AT BUILDOUT  
 17 BEDS = 17 SPACES  
 110 EMPLOYEES = 55 SPACES (\* SEE NOTE BELOW)  
 TOTAL PARKING REQUIRED = 72 SPACES

\* ST LUKE'S CURRENT MAXIMUM EMPLOYEE CENSUS IS 101 PEOPLE IF EVERY HOSPITAL DEPARTMENT WAS STAFFED AT MAXIMUM LEVEL, INCLUDING PHYSICIANS, AND ADDITIONAL STAFF WERE BROUGHT IN FOR SPECIAL CIRCUMSTANCES (BABY DELIVERIES, ETC.) STAFFING OF THE NEW FACILITY IS EXPECTED TO BE THE SAME, EXCEPT FOR THE ADDITION 6 NURSES AND 2-3 PERSONS FOR ADDITIONAL REGISTRATION AND E.V.S. CAPACITY.

- ST. LUKE'S MEASURED PARKING DEMAND:**
- ST. LUKE'S RECORDED PARKING USAGE AT THE EXISTING HOSPITAL OVER SEVERAL MONTHS DURING 2017. REFER TO ACCOMPANYING DATA SUMMARY.
  - THE MAXIMUM RECORDED PARKING USE DURING THAT TIME WAS:  
 192 SPACES TOTAL  
 94 SPACES AT HOSPITAL AREA, WHICH INCLUDED PARKING AT PAYETTE LAKES MEDICAL CLINIC BUILDINGS.

**PROPOSED PARKING PROVIDED:**  
 BUILDOUT PARKING CAPACITY PROVIDED  
 HOSPITAL PARKING AREA = 49 SPACES  
 STATE STREET HOSPITAL PARKING = 28 SPACES  
 HEWITT STREET PARKING = 14 SPACES  
 TOTAL PARKING PROVIDED = 91 SPACES

PAYETTE LAKES CLINIC = 32 SPACES (NO CHANGE)  
 TOTAL AVAILABLE PARKING = 123 SPACES



The information on this drawing is based on field data and is not intended to be used for any other purpose. The user shall be responsible for verifying the accuracy of the information on this drawing.

Project Name: **St. Luke's McCall Medical Center  
 Planned Unit Development &  
 Preliminary Plat**  
 Idaho  
 McCall

SHEET:  
**Parking Analysis  
 Proposed Buildout**

**THE LAND GROUP**  
 INCORPORATED  
 442 East Shure Drive, Suite 100  
 Eagle, Idaho 83616  
 PH: 208.333.4444 FAX: 208.333.4445  
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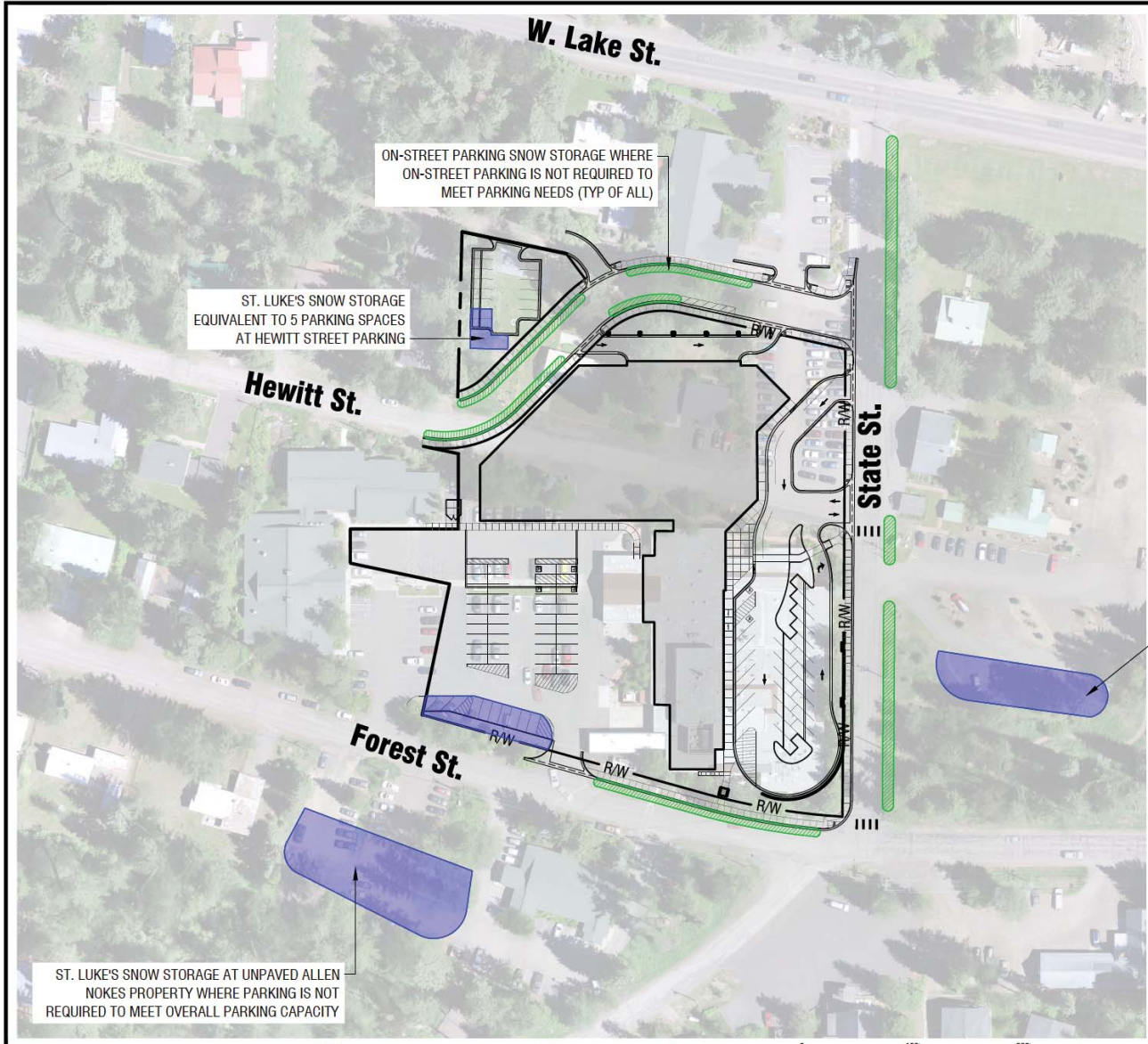
Project No.: 116038  
 Date of issuance: 01-06-2018  
 Designed by: TLG  
 Checked by: JCD  
 Sheet No.:

**Ex 2**

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 Date Plotted: Monday, January 8, 2018 at 11:54 AM



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 User: jcd  
 Date Plotted: Monday, January 9, 2018 at 11:57 AM



**Notes:**

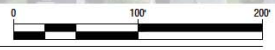
- SNOW STORAGE AREAS**
- ON-STREET PARKING SNOW STORAGE AREAS
  - OFF-STREET PARKING SNOW STORAGE AREAS

ST. LUKE'S OFFSITE SNOW STORAGE AT 10 PARKING SPACES LEASED AT MUSEUM PROPERTY.



**Proposed Snow Management Plan**

HORIZONTAL SCALE: 1" = 100'



The information shown on this plan was prepared by the engineer or architect on the basis of the information furnished to him by the client. It is the responsibility of the client to see that the information is correct and complete. The engineer or architect does not warrant the accuracy of the information furnished to him.

Idaho


**St. Luke's McCall Medical Center  
 Planned Unit Development &  
 Preliminary Plat**

Project Name: **St. Luke's McCall Medical Center  
 Planned Unit Development &  
 Preliminary Plat**

McCall

**Proposed Snow  
 Management Plan**

Sheet No.:

  
**THE LAND GROUP  
 INCORPORATED**  
 442 East Shure Drive, Suite 100  
 Eagle, Idaho 83616  
 PH: 208.338.4444 FAX: 208.338.4445  
 www.thelandgroup.com

Project No.:	116038
Date of Issuance:	01-08-2018
Designed by:	TLG
Checked by:	JCD
Sheet No.:	Ex 3





Date:	<b>January 8, 2018</b>	From:	<b>Jason Densmer</b>
Project:	<b>St. Luke's McCall Medical Center – Preliminary Plat &amp; PUD</b>		
To:	<b>Morgan Bessaw, City Planner; Phillip Bowman, City Engineer</b> <b>St. Luke's project team</b>		
Re:	<b>Supplementary Information – Storm Drainage</b>		

Morgan & Phillip:

Please accept the following information to supplement the St. Luke's Subdivision Preliminary Plat & PUD application currently under review by the City. This information is being furnished in response to the questions raised by City staff during our meeting on Dec. 20, 2017. Supplemental information is being compiled regarding parking capacity, snow management, storm drainage and the proposed helistop. This memo focuses on the conceptual methods proposed to address the City's storm drainage requirements.

Storm drain improvements for the proposed project will be designed in accordance with currently adopted standards of the City of McCall and the Idaho Department of Environmental Quality. This preliminary storm drain study addresses the requirements of McCall Resolution 16-10, and the referenced Drainage Management Guidelines (DMG) of January 1997.

The project consists of a total area of somewhat less than 5-acres, but proposes impervious surfaces exceeding 15,000-sf. Under DMG requirements, the final storm drain management plan for a project of this size must incorporate all elements of the DMG (Sections A, B, C, D, E and F of the Stormwater Management Plan Checklist). For the final project design, these elements will include:

- A. Basin Characteristics
- B. Erosion & Sediment Control
- C. Conveyance Systems
- D. First Flush Storm Treatment
- E. Permanent BMP's
- F. Operation & Maintenance

For this preliminary submittal, we have focused on items A, D and E. A brief conceptual narrative is provided for items B, C and F. As is recommended by the DMG, we intend this preliminary submittal to allow the City an opportunity to review the concepts we anticipate incorporating to the final drainage systems, and determine general compliance with the City's requirements.

## A. Basin Characteristics

### Existing Conditions

The proposed St. Luke's Subdivision – preliminary plat and planned unit development – encompasses lands within the City of McCall which are currently developed. The lands south of the existing Hewitt Street are fully developed as the McCall Medical Center and contain the hospital building and associated parking. North of the existing Hewitt Street contain lower-intensity land uses including a gravel parking area and single family residential properties. In addition, storm drain characteristics from the existing area include an analysis of the existing public roadways which are adjacent to and drain through existing drainage systems.



Pre-development storm drain characteristics are summarized in the attached calculation spreadsheet under “Pre Development Conditions”, with the associated areas mapped on Ex 1.

Existing conditions storm drain characteristics can be summarized as:

<i>Area</i>	<i>2-yr/24-hr Volume</i>	<i>10-yr/24-hr Volume</i>	<i>25-yr/24-hr Volume</i>
<i>Onsite Areas (A thru E)</i>	9,514-cf	21,496-cf	24,080-cf
<i>Roadway Areas (R)</i>	2,995-cf	6,765-cf	7,579-cf
<i>Total</i>	12,509-cf	28,261-cf	31,658-cf

### Proposed Conditions

The proposed development will expand the hospital building towards the north, relocate Hewitt Street and construct new at-grade parking areas east of the hospital and at the northwest corner of the project area.

Post-development storm drain characteristics are summarized in the attached calculation spreadsheet under “Proposed Post Development Conditions”, with the associated areas mapped on Ex 2. Sub-basins within each drainage area are envisioned to drain stormwater to a shared system (ie, Area A consists of sub-basins A1, A2 and A3 which will share a single storm drain facility).

Proposed conditions storm drain characteristics can be summarized as:

<i>Area</i>	<i>2-yr/24-hr Volume</i>	<i>10-yr/24-hr Volume</i>	<i>25-yr/24-hr Volume</i>
<i>Onsite Areas (A thru D)</i>	9,499-cf	21,461-cf	24,040-cf
<i>Roadway Areas (R)</i>	2,834-cf	6,404-cf	7,174-cf
<i>Total</i>	12,333-cf	27,864-cf	31,214-cf

Because the project is a redevelopment of existing improved areas, there is not a significant change in stormwater conditions as a result of the project.

As required by the DMG, the project must provide stormwater treatment (and/or detention) for the 2-yr/24-hr storm event<sup>1</sup> (see Section D below), and for any increase in stormwater flow over the pre-development condition for the 10-yr/24-hr storm<sup>2</sup>. As shown above, initial calculations indicate there will not be an increase in the post-development condition for the 10-yr/24-hr storm; which will be confirmed at the final design stage.

## B. Erosion & Sediment Control

Project construction documents will provide required Erosion & Sediment Control facilities to be implemented during construction. The project will prepare a Stormwater Pollution Prevention Plan (SWPPP) and file with the EPA for a NOI.

Permanent stormwater BMPs will be incorporated to the constructed improvements to manage erosion, sediment and other pollutant transport in the post-construction stormwater flows. Improvements will reflect McCall DMG requirements and Idaho Department of Environmental Quality recommended BMPs. As

<sup>1</sup> Per DMG pg. I-3 for projects with impervious surfaces 5,000-sf or greater, and DMG pg. II-2.

<sup>2</sup> Per DMG pg. I-4 for projects with impervious surfaces 15,000-sf or greater, and DMG pg. II-2.

shown in the provided concepts, the project proposes to incorporate permeable paver systems to address a large portion of the permanent BMP erosion and sediment control.

## C. Conveyance Systems

Conveyance system piping for storm drainage will be designed to integrate with the existing drainage systems which serve the project area, including the existing hospital, nearby clinic buildings and off-site roadways which use piping in the project area. In accordance with DMG requirements, conveyance systems will be designed to accommodate stormwater flows from at least those storm events identified in Table II-1 (greater storm event magnitudes may be used where deemed appropriate by St. Luke's and its engineer).

## D. First Flush Storm Treatment

The stormwater characteristics of the project are not significantly changed due to the project, as described in Section A above. Although there is not a significant increase in total stormwater flow, the existing systems do not provide sufficient facilities to treat stormwater flows from the "first flush storm". The existing stormwater systems collect and transmit stormwater flows to downstream piping systems (which ultimately outlet to Payette Lake), but do not include treatment of those stormwater flows.

The proposed project improvements will provide stormwater treatment of stormwater flows for the 2-yr / 24-hour storm event, as prescribed by the DMG. Refer to attached calculation spreadsheet for preliminary system sizing.

Proposed systems are shown by the supplemental preliminary plat sheet PP300, as attached:

- Area A (subbasins A1, A2 and A3):
  - Reconfiguration of the existing parking area will incorporate a new pervious paver drainage area.
    - The 2-yr/24-hr storm event for Area A generates approximately 6,116-cf of drainage.
    - Permeable Paver System 1 can provide 20,200-cf of 24-hr stormwater infiltration volume.
    - Paver System 1 will be provided with an overflow to the storm drain piping flowing north to Hewitt Street to accommodate storm events in excess of the paver capacity.
  - Stormwater from areas A2 and A3 (existing and proposed hospital roofs) will be collected in roof drains and directed in underground piping to the stone subbase of the permeable pavers system.
  - Stormwater from the existing parking area (area A1) will continue to flow towards the north and enter the permeable pavers via the surface.
  - Existing off-site stormwater from the Forest St. right-of-way is conveyed through the hospital's existing west parking lot to Hewitt Street. These off-site flows will continue to be piped through the area in relocated facilities.
- Area B (subbasins B1 and B2):
  - Removal of a portion of the existing hospital building will create space for a new parking area west of State Street. This parking will be constructed to incorporate a new pervious paver drainage area.
    - The 2-yr/24-hr storm event for Area B generates approximately 2,320-cf of drainage.

- Permeable Paver System 2 can provide 8,900-cf of 24-hr stormwater infiltration volume.
  - Paver System 2 will be provided with an overflow to the storm drain piping in State Street to accommodate storm events in excess of the paver capacity.
- Stormwater from area B1 (proposed hospital roof) will be collected in roof drains and directed in underground piping to the stone subbase of the permeable paver system.
- Stormwater from the proposed parking area (area B2) will enter the permeable pavers via the surface.
- Area C
  - An on-site seepage bed is proposed to receive drainage from the portion of the new hospital expansion roof identified as Area C.
    - The 2-yr/24-hr storm event for Area C generates approximately 743-cf of drainage.
    - Seepage Bed 1 can provide approximately 840-cf of stormwater volume.
    - Seepage Bed 1 will be provided with an overflow to the storm drain piping flowing east in the relocated Hewitt Street.
- Area D
  - The new parking area north of the realigned Hewitt Street will incorporate a pervious paver drainage area.
    - The 2-yr/24-hr storm event for Area D generates approximately 319-cf of drainage.
    - Permeable Paver System 3 can provide 1,800-cf of 24-hr stormwater infiltration volume.
    - Paver System 3 may be provided with an overflow to the storm drain piping within the relocated Hewitt Street.
  - Stormwater from area D will enter the permeable pavers via the surface.
- Area R (roadways)
  - The reconfigured roadways proposed by the project will be provided with a new stormwater treatment system, conceptually envisioned to be located southeast of the intersection of State St. and Lake Street. This is City-owned property and the appropriateness of this envisioned system will need to be supported by the City.
    - The 2-yr/24-hr storm event for Area R generates approximately 2,834-cf of drainage.
    - Bioinfiltration Basin 1 can be sized to provide capacity.
  - An overflow from Bioinfiltration Basin 1 will be provided to the existing State Street drainage system which discharges via existing piping crossing Lake St to Payette Lake. The overflow will accommodate flows above the 2-yr/24-hr event.

## E. Operation & Maintenance

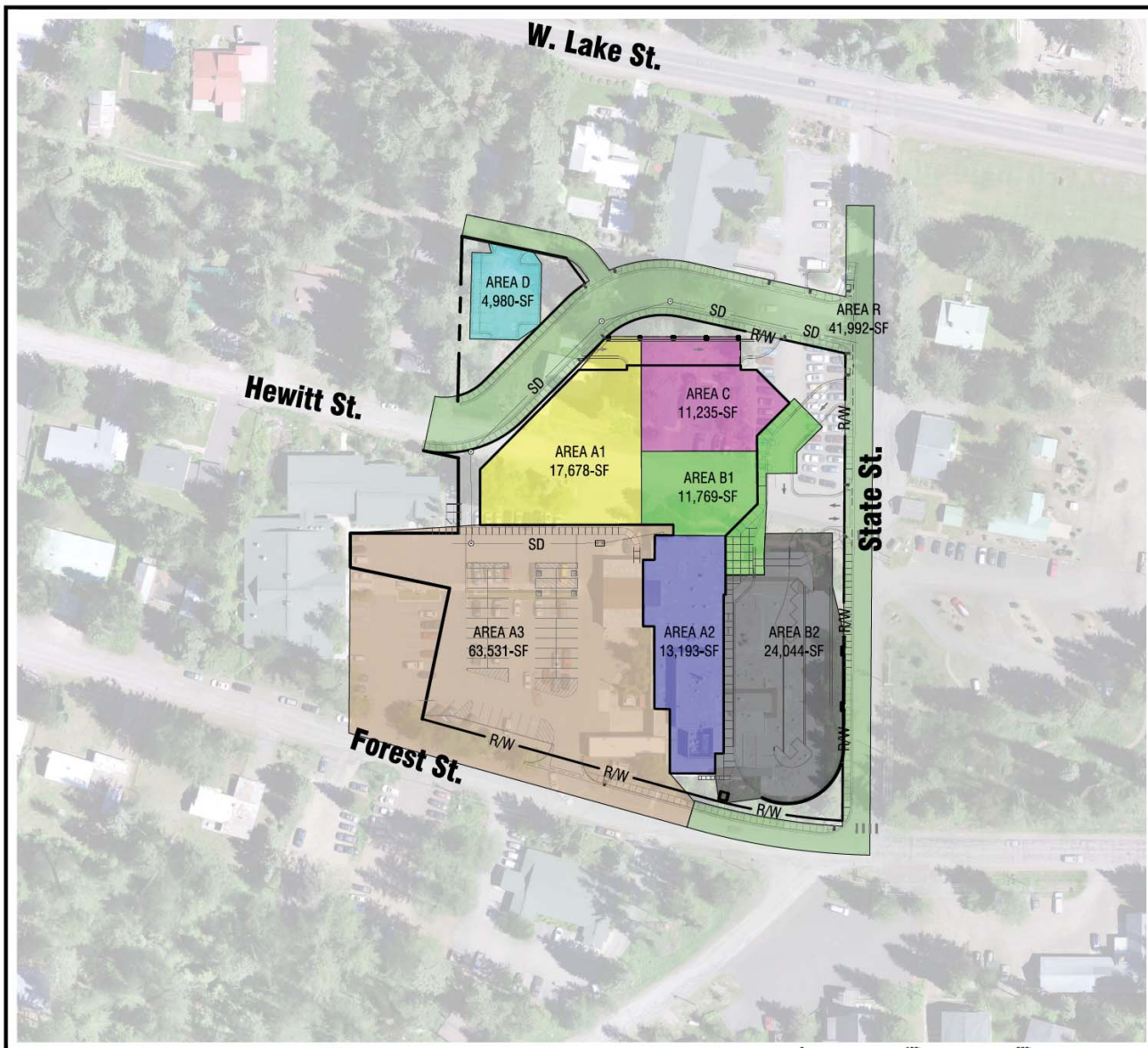
Operation and Maintenance instructions will be prepared for the proposed stormwater systems. The instructions will clearly identify the responsible party for operation and maintenance. For those systems which St. Luke's is responsible, detailed instructions and schedules for the routine, regular maintenance required to preserve the long-term function of the storm drain systems will be provided. Instructions will also be provided for any special maintenance required following a large runoff event.




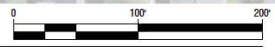




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 User: jmc  
 Date Plotted: Sunday, January 7, 2018 at 11:31 AM



 **Storm Drain Areas**  
 HORIZONTAL SCALE: 1" = 100'



**Notes:**

1. STORM DRAIN IMPROVEMENTS FOR THE PROPOSED PROJECT WILL BE DESIGNED IN ACCORDANCE WITH CURRENTLY ADOPTED STANDARDS BY THE CITY OF MCCALL AND IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY.
2. CONCEPTUAL IMPROVEMENTS AS SHOWN ARE INTENDED TO INDICATE ONE CONCEPTUAL METHOD BY WHICH THESE REQUIREMENTS COULD BE ACHIEVED. REVIEWERS SHOULD ANTICIPATE THAT FINAL DESIGN WILL PROPOSE CHANGES TO THESE SYSTEMS AS ADDITIONAL DETAIL AND DESIGN INFORMATION BECOMES AVAILABLE.



The information shown on this plan was prepared by the engineer or architect shown on the title block. It is not to be construed as a warranty or representation of any kind.

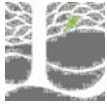
Project Name: **St. Luke's McCall Medical Center  
 Planned Unit Development &  
 Preliminary Plat**  
 Idaho  
 McCall

Sheet Title: **Storm Drain Areas  
 Proposed Buildout**

  
**THE LAND GROUP**  
 INCORPORATED  
 442 East Shure Drive, Suite 100  
 Eagle, Idaho 83616  
 PH: 208.333.4444 Fax: 208.333.4445  
 www.thelandgroup.com

Project No.: 116038  
 Date of Issuance: 01-04-2018  
 Designed by: TLG  
 Checked by: JCD  
 Sheet No.:

**Ex 2**



**St. Luke's McCall Medical Center**  
**Preliminary Plat - Preliminary Storm Drain Concept**

January 8, 2018

TLG PN 116038

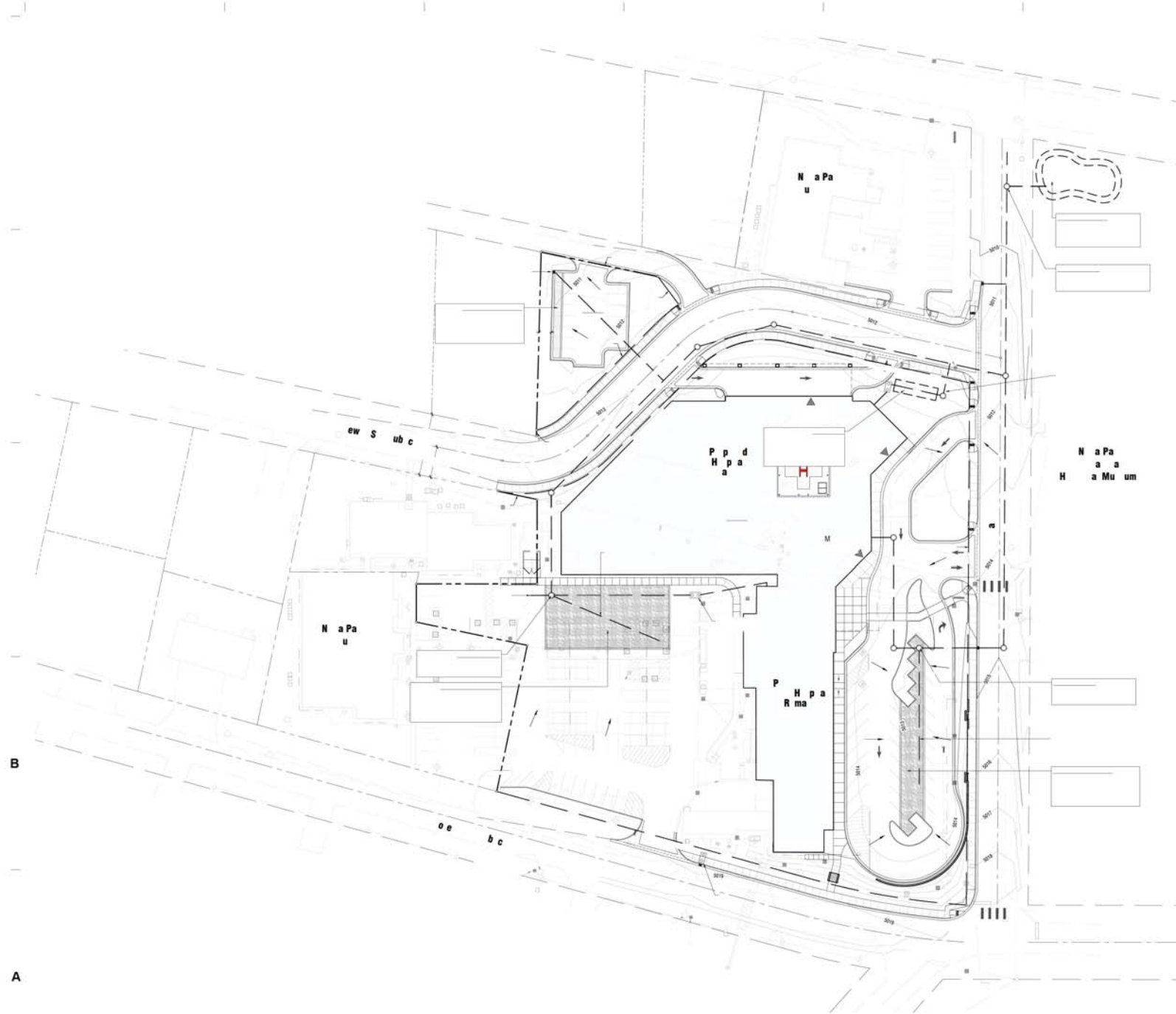
**Design Storm Characteristics**

**Pre Development Conditions**


Drainage Area	Sub-Basin	Impervious		Pervious		Total		10-yr / 24-hr Runoff			25-yr / 24-hr Runoff			Water Quality						
		Area (sf)	Runoff Coefficient	Area (sf)	Runoff Coefficient	Area (sf)	Weighted Coefficient	10-yr Peak Intensity (in/hr)	Peak Discharge Rate (cfs)	Rainfall (in)	Duration (hrs)	Volume (cf)	25-yr Peak Intensity (in/hr)	Peak Discharge Rate (cfs)	Rainfall (in)	Duration (hrs)	Volume (cf)	2-yr / 24-hr Runoff Intensity (in/hr)	Duration (hrs)	Volume (cf)
A		67,433	0.95	-	0.4	67,433	0.95	1.7	2.50	1.83	24	9,769	2.1	3.09	2.05	24	10,944	0.81	24	4,324
B		36,634	0.98	-	0.4	36,634	0.98	1.7	1.40	1.83	24	5,475	2.1	1.73	2.05	24	6,133	0.81	24	2,423
C		12,039	0.5	-	0.4	12,039	0.5	1.7	0.23	1.83	24	918	2.1	0.29	2.05	24	1,028	0.81	24	406
D		39,303	0.65	-	0.4	39,303	0.65	1.7	1.00	1.83	24	3,896	2.1	1.23	2.05	24	4,364	0.81	24	1,724
E		12,567	0.75	-	0.4	12,567	0.75	1.7	0.37	1.83	24	1,437	2.1	0.45	2.05	24	1,610	0.81	24	636
R		44,363	1	-	0.4	44,363	1	1.7	1.73	1.83	24	6,765	2.1	2.14	2.05	24	7,579	0.81	24	2,995

**Proposed Post Development Conditions**


Drainage Area	Sub-Basin	Impervious		Pervious		Total		10-yr / 24-hr Runoff			25-yr / 24-hr Runoff			Water Quality						
		Area (sf)	Runoff Coefficient	Area (sf)	Runoff Coefficient	Area (sf)	Weighted Coefficient	10-yr Peak Intensity (in/hr)	Peak Discharge Rate (cfs)	Rainfall (in)	Duration (hrs)	Volume (cf)	25-yr Peak Intensity (in/hr)	Peak Discharge Rate (cfs)	Rainfall (in)	Duration (hrs)	Volume (cf)	2-yr / 24-hr Runoff Intensity (in/hr)	Duration (hrs)	Volume (cf)
A	A1	17,678	0.98	-	0.4	17,678	0.98	1.7	0.68	1.83	24	2,642	2.1	0.84	2.05	24	2,960	0.81	24	1,169
	A2	13,193	0.98	-	0.4	13,193	0.98	1.7	0.50	1.83	24	1,972	2.1	0.62	2.05	24	2,209	0.81	24	873
	A3	63,531	0.95	-	0.4	63,531	0.95	1.7	2.36	1.83	24	9,204	2.1	2.91	2.05	24	10,311	0.81	24	4,074
B	B1	11,769	0.98	-	0.4	11,769	0.98	1.7	0.45	1.83	24	1,759	2.1	0.56	2.05	24	1,970	0.81	24	779
	B2	24,044	0.95	-	0.4	24,044	0.95	1.7	0.89	1.83	24	3,483	2.1	1.10	2.05	24	3,902	0.81	24	1,542
C	C	11,235	0.98	-	0.4	11,235	0.98	1.7	0.43	1.83	24	1,679	2.1	0.53	2.05	24	1,881	0.81	24	743
D	D	4,980	0.95	-	0.4	4,980	0.95	1.7	0.18	1.83	24	721	2.1	0.23	2.05	24	808	0.81	24	319
R	R	41,992	1	-	0.4	41,992	1	1.7	1.64	1.83	24	6,404	2.1	2.02	2.05	24	7,174	0.81	24	2,834




A  
B

 Preliminary Concrete Grading & Drainage







THE LAND GROUP, INC.

St Luke's

St Luke's

Peiny Grading Drainage

P 3 00

t ukes Subd vson - ann d Unt De eopment & el m na y at  
 R M D H  
 HUMMEL  
 10000 N. 10th St., Suite 100, Omaha, NE 68131  
 P: 402.441.2000



St. Luke's McCall Medical Center

January 8, 2018  
TLG PN 116038

**Drainage Area A: Permeable Pavers System 1**

**Tributary Area Contributing to System**

Total Area =	94,402	s.f.	Required 25-yr/24-hr Volume =	15,479	cf
Impervious Area =	94,402	s.f.			
Pervious Area =	0	s.f.			
wt. C =	0.98				

**Infiltration System Design**

*Infiltration System Characteristics*

Subgrade Infiltration Rate =	2.00	in/hr*	Inf. System Void Ratio =	40%	
Paver System Area =	5050.0	sf	Area of Percolation =	5,050	sf
Paver Gravel Depth =	2.50	ft	Percolation Rate =	842	cf/hr
Paver Storage Volume =	5050.0	cf	24-hr Infiltration Volume =	20,200	cf

**Drainage Area B: Permeable Pavers System 2**

**Tributary Area Contributing to System**

Total Area =	35,813	s.f.	Required 25-yr/24-hr Volume =	5,872	cf
Impervious Area =	35,813	s.f.			
Pervious Area =	0	s.f.			
wt. C =	0.98				

**Infiltration System Design**

*Infiltration System Characteristics*

Subgrade Infiltration Rate =	2.00	in/hr*	Inf. System Void Ratio =	40%	
Paver System Area =	2225.0	sf	Area of Percolation =	2,225	sf
Paver Gravel Depth =	2.50	ft	Percolation Rate =	371	cf/hr
Paver Storage Volume =	2225.0	cf	24-hr Infiltration Volume =	8,900	cf



St. Luke's McCall Medical Center

January 8, 2018  
TLG PN 116038

**Drainage Area D: Permeable Pavers System 3**

**Tributary Area Contributing to System**

Total Area =	4,980	s.f.
Impervious Area =	4,980	s.f.
Pervious Area =	0	s.f.
wt. C =	0.95	

Required 25-yr/24-hr Volume = 808 cf

**Infiltration System Design**

*Infiltration System Characteristics*

Subgrade Infiltration Rate =	2.00	in/hr*
Paver System Area =	450.0	sf
Paver Gravel Depth	2.50	ft
Paver Storage Volume	450.0	cf

Inf. System Void Ratio =	40%	
Area of Percolation =	450	sf
Percolation Rate =	75	cf/hr
24-hr Infiltration Volume =	1,800	cf





Date:	January 11, 2018	From:	Jason Densmer
Project:	St. Luke's McCall Medical Center – Preliminary Plat & PUD		
To:	Morgan Bessaw, City Planner St. Luke's project team		
Re:	Supplementary Information – helistop		

Morgan:

Please accept the following information to supplement the St. Luke's Subdivision Preliminary Plat & PUD application currently under review by the City. This information is being furnished in response to the questions raised by City staff during our meeting on Dec. 20, 2017. Supplemental information is being compiled regarding parking capacity, snow management, storm drainage and the proposed helistop. This memo focuses on the helistop.

## Helistop

The existing hospital meets the need for helicopter medical transport by taking patients to the McCall airport by ground ambulance, where they meet the helicopter for transport to Boise. The St. Luke's McCall Medical Center expansion proposes a helicopter helistop to be constructed on the roof level (above 2<sup>nd</sup> floor) of the building. A helistop will allow a higher level of patient care for the most-critically ill patients.

St. Luke's recognizes that the proposed helistop at the hospital presents a change within the community that should be considered and presented as a part of the current PUD process. In this memo we reiterate responses to questions that have been presented in our meetings with the neighborhood, community and City.

### Frequently Asked Questions:

#### Why use helicopters to transport patients instead of other methods?

- St. Luke's uses multiple transport methods for patients needing transfer to other facilities. When appropriate (and in increasing level-of-urgency), patients are transferred via private auto (being driven by family members), via ground ambulance, via fixed-wing aircraft, and lastly via helicopter.
- The decision to transport by helicopter is at the discretion of the treating physician. Although fastest, helicopter transport is also the most costly so it is used for patients where urgency is highest. Hospital staff and St. Luke's internal transfer center weigh patient acuity, weather conditions, financial cost and trip duration when assessing the appropriate patient transport.
  - Time comparison of transport options:
    - Ground ambulance .....135 minutes<sup>1</sup>
    - Fixed-wing aircraft ..... 71 minutes
    - Helicopter .....42 minutes

<sup>1</sup> Weather permitting. In poor conditions this drive can take up to 3 or even 4 hours.

How often does St. Luke’s use helicopters from McCall?

- From Jan. 1, 2015 to Nov. 28, 2017 St. Luke’s transported 619 patients from McCall across the various methods of transport. Of those, 191 requests were for helicopter, 294 by ground ambulance and 134 via fixed-wing aircraft.

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Grand Total
<b>2015</b>	2	9	8	3	11	13	16	21	10	5	11	24	133
Fixed Wing Aircraft	2	4	2	2	4	4	6	10	2		3	4	43
Ground		2			2	2		1	1		5	15	28
Helicopter		3	6	1	5	7	10	10	7	5	3	5	62
<b>2016</b>	15	19	15	14	19	29	39	21	15	14	18	18	236
Fixed Wing Aircraft	2	5	5	1	2	3	9	2		2	1	6	38
Ground	8	10	8	8	12	13	15	9	7	9	13	11	123
Helicopter	5	4	2	5	5	13	15	10	8	3	4	1	75
<b>2017</b>	19	20	19	15	18	18	34	36	31	19	21		250
Fixed Wing Aircraft	5	3	2	4	4	7	7	9	6	5	1		53
Ground	12	14	12	7	8	5	20	23	18	7	17		143
Helicopter	2	3	5	4	6	6	7	4	7	7	3		54
<b>Grand Total</b>	<b>36</b>	<b>48</b>	<b>42</b>	<b>32</b>	<b>48</b>	<b>60</b>	<b>89</b>	<b>78</b>	<b>56</b>	<b>38</b>	<b>50</b>	<b>42</b>	<b>619</b>

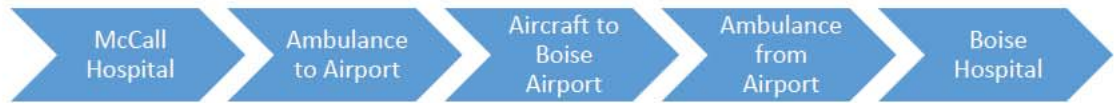
- Reviewing the same period of data, we see that helicopter transports occurred throughout the day. Data regarding hourly frequency is provided below. Over the three years of data, 66 helicopter transports were necessary between the hours of 10pm and 6am.

Hour of Day	0	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	Grand Total	
2015	3		3	1	1	2	1	1	4	3	2	2	4	5	2		3	2	5	6	6	2	3			61
2016	4	1	1		3		2	2	4	5	6	4	4	2	4	3	4	3	2	10	7	2	1			74
2017	3		2	1					1	4	2	3	3	5		4	5	4	1	3	2	4	2	1		50
<b>Grand Total</b>	<b>10</b>	<b>1</b>	<b>5</b>	<b>3</b>	<b>1</b>	<b>5</b>	<b>1</b>	<b>3</b>	<b>7</b>	<b>11</b>	<b>9</b>	<b>11</b>	<b>11</b>	<b>14</b>	<b>4</b>	<b>8</b>	<b>11</b>	<b>10</b>	<b>9</b>	<b>11</b>	<b>18</b>	<b>13</b>	<b>7</b>	<b>2</b>	<b>185</b>	

### Why is a helistop at the hospital better than meeting the helicopter at the airport?

- Patient outcomes are known to improve when fewer “hand offs” occur. The hospital helistop will reduce hand-offs resulting in time savings that are critical during time-sensitive emergencies that could result in improved mortality, brain function or other bodily function for those patients.

- Hand offs involved in existing fixed-wing aircraft process:



- Hand offs involved in existing helicopter transport process:



- Hand offs involved in proposed helistop process:



### Will a helistop at the hospital encourage more helicopter use?

- We do not anticipate a substantive increase in helicopter volume. As noted above, patient acuity, weather conditions, cost and transport duration are the primary factors determining when helicopters are used. A helistop at the hospital is not expected to result in a change to how St. Luke’s treats patients, and our partners at Air St. Luke’s have confirmed this assumption.

**McCall Area Planning and Zoning Commission  
Staff Report**

**DR-18-09**  
*910 Hayes St.*  
*Symmonds Residence*

February 6, 2018

Applicant: Jeff and Andrea Symmonds  
Agent: Paul Hoffman  
Application: Design Review for an addition of an Accessory Dwelling  
Zoning: R8 – Medium Density Residential

---

**Description**

A Design Review application to construct an accessory dwelling addition of 1255 sq. ft. that will connect an existing 1100 sq. ft. cabin with an existing 551 sq. ft. detached garage. (Total: 2,900 sq. ft.)

Lot Coverage: 3,726 sq. ft. (92% of allowable)    Building Height: 28 ft.

**Code Narrative**

(MCC 3.16.02) Design Review is required for projects that include an accessory structure and residences in excess of 3500 sq. ft.

**Design Guideline Narrative**

Please see the attached Findings and Conclusions document for Design Guideline analysis.

**Comments**

Payette Lake Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the February 6<sup>th</sup> McCall Area Planning and Zoning Commission meeting date. In an email dated January 9, 2018, PLRWSD stated they had no comments for this application.

McCall City Engineer

In an email dated January 24, 2018, the City Engineer stated the following:

1. Existing utilities are generally shown on the Site Plan submitted, but it is known that the residence is provided City water service from an existing water meter located near the north east property corner of the site. This water meter should be shown on the Site Plan as well so it can be protected during construction. Care should also be taken to ensure the building addition does not create conflicts with any existing utilities and is not placed directly over existing line(s).
2. The current driveway width should be labeled on the Site Plan at the point where the driveway crosses the property line/ROW line. If any modifications to the driveway are proposed at this location, the maximum width permitted will be 20’.

3. Based on a review of the existing and proposed building areas combined with the proposed driveway areas (from the Lot Coverage information on the Cover Sheet), it appears that the completed project will include less than 5,000 square feet of impervious surface and will not be required to provide permanent best management practices (BMPs) that conform with the City's drainage management guidelines (DMGs). The project will be required to address sections A, B, and F of the DMGs and include provisions for erosion control during construction and periods of ground disturbance.
4. Upon preparing the final civil design plans and/or detailed erosion control and grading plans for construction, please submit a signed stormwater application (attached) and the formal stormwater drainage report prepared in accordance with the City's DMGs (addressing sections A, B, and F) for review and approval prior to the issuance of the building permit.
5. Field verification that all erosion control and stormwater management components have been implemented will be made by the City's building official and will be a condition of receiving the final certificate of occupancy.

Based on this initial review, it appears likely that the project will conform to the City's Public Works and engineering requirements.

*Public* – No public comments have been received to date.

### **Commission Findings**

The Commission hereby makes the following findings:

1. The project is in general conformance with the Comprehensive Plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable specifications outlined in the City of McCall Design Guidelines as well as all other applicable requirements of the Zoning.

### **Conditions of Approval**

1. Prior to issuance of a building permit, the applicant shall record Record-of-Survey ROS-18-02 and provide confirmation from the Valley County Assessor's Office of the lot combination.
2. Prior to issuance of a building permit, the applicant shall provide outdoor lighting fixture details for approval by City staff in accordance with McCall's Outdoor Lighting Ordinance (MCC 3.14).
3. Prior to issuance of a building permit, the applicant shall receive final engineering approval (see agency comments above).
4. Prior to a Certificate of Occupancy, all disturbed areas shall be reseeded with native grass.
5. Pursuant to McCall City Code (MCC 3.16.08), design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.



IN RE: )  
)  
Symmonds Residence ) **McCALL AREA PLANNING AND ZONING COMMISSION**  
Design Review ) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**  
) **DECISION**  
)  
)  
Application Number: )  
DR-18-09 )

**FINDINGS OF FACTS**

**Applicant:** Jeff & Andrea Symmonds

**Representative:** Paul Hoffman

**Application:** A Design Review application to construct an accessory dwelling addition of 1255 sq. ft. that will connect an existing 1100 sq. ft. cabin with an existing 551 sq. ft. detached garage.

**Address:** 910 Hayes St.

**Location:** Lots A and B, situate in Section 7, T10N, R3E, B.M., City of McCall, Valley County, Idaho.

**Public Notice:** Newspaper: The Notice of Hearing was published in the Star News on January 18, 2018.

Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on January 18, 2018.

Posting: The Notice of Hearing was posted on the subject parcel by the applicant on January 18, 2018.

**Zoning:** R8 –Medium Density Residential

**Property Size:** 15,000 sq. ft. (0.34 acres)

**Lot Coverage:** 3,726 sq. ft. (92% of allowable)

**Building Height:** 27 ft. 11.5 in.

**Setbacks:** The structure is situated 12.75 ft. from the westerly side property line, 19.5 ft. from the easterly side property line, 57.75 ft. from the front property line, and 14 ft. from the rear property line. All setbacks are in accordance with MCC 3.3.03.

**Parking Spaces:**

Provided: 2+

Required: 2 spaces per MCC 3.8.062

**APPROVAL STANDARDS**

**Title 3, Chapter 16**

**Design Review**

**The commission or administrator shall determine the following before approval is given:**

- 1. The project is in general conformance with the comprehensive plan.**
- 2. The project does not jeopardize the health, safety or welfare of the public.**
- 3. The project conforms to the applicable specifications outlined in the "City Of McCall Design Guidelines", incorporated by reference herein, as well as all other applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the city of McCall. Please see the review of the Design Guidelines below.**

**DESIGN GUIDELINES**

**General Guidelines**

- 1. Building Scale:** The building scale is compatible with surrounding residences.
- 2. Pedestrian Character:** The project design includes a people-oriented street frontage that creates pedestrian character.
- 3. Blank Walls:** The project design avoids blank walls by including windows on all street facades.
- 4. Storefront:** N/A

5. **Parking:** The project includes adequate parking for its residential use, pursuant to McCall City Code (3.8.06).

### **Guidelines for All Projects**

#### **Site Planning**

1. **Building Siting:** The building siting preserves existing land forms.
2. **Adjacent Buildings and Uses:** The project is compatible with existing adjacent buildings and residential uses.
3. **Preserve Vegetation and Wildlife:** There are no known water courses, wildlife corridors or wetlands on the property. No significant vegetation exists on the proposed building site.
4. **Preserve Views:** The building site does not impact any significant views.
5. **Preserve Skylines:** The building is not sited on a prominent skyline.
6. **Preserve Natural Drainage:** A stormwater management and drainage plan is a required component of final approval by the City Engineer and issuance of a building permit.
7. **Cluster Buildings:** N/A
8. **Street Alignment:** The existing driveway approach will remain.
9. **Retaining Walls:** No retaining walls are proposed.
10. **Snow Storage:** Snow storage area is incorporated into the site design.
11. **Roof Design and Snow:** The roof design anticipates snow shedding and drip line areas.
12. **Use the Sun:** The project avoids shadowed, cold exterior areas.
13. **Screen Service Areas:** N/A
14. **On-Site Parking:** The project includes adequate on-site parking for its residential use, pursuant to McCall City Code (3.8.06).
15. **Circulation Needs – Pedestrian and Vehicles:** The project does not create conflict between pedestrians and vehicles.

## Architecture

1. **Enhance McCall Classic Styles:** The building design is compatible with McCall classic architectural styles.
2. **Minimize Scale:** The project design attempts to minimize the apparent scale of the building through the use of architectural details, textures and voids and masses.
3. **Building Additions:** The addition is designed to appear as though it were part of the original building.
4. **Roof Lines:** The roof lines are compatible with the building form.
5. **Mechanical Equipment:** N/A
6. **Multi-Unit Structures:** The accessory dwelling is designed as an integral part of the overall building design.
7. **Balconies and Porches:** The covered porches of the proposed structure are of a compatible design.
8. **Exterior Doorways:** The exterior doors are located in a manner that complements the design of the building and serves the intended function.
9. **Wall Materials:** The proposed wall materials include log as well as bat and board siding and green corrugated metal roofing.
10. **Shop Front Design:** N/A
11. **Wall Colors:** The proposed wall colors are of natural hues.

## Landscaping and Site Design

1. **Light Fixtures:** The submitted plans indicate that outdoor shielded downcast lighting will be part of the project, but no specific cut sheets are provided. Therefore, prior to issuance of a building permit, the applicant shall provide outdoor lighting fixture details for review and approval by City staff in accordance with McCall's Outdoor Lighting Ordinance (MCC 3.14).

2. **Fences and Walls:** A fenced dog run is to remain.
3. **Retaining Walls:** No retaining walls are proposed.
4. **Paving and Streetscapes:** N/A
5. **Landscaping Plan:** A landscaping plan has been submitted.
6. **Site Conditions for Landscaping:** Landscaping is to remain natural.
7. **Lawn Area:** No new lawn areas are proposed.
8. **Plants as Screening:** The site has approximately 16 large conifer trees to remain, which help screen from the neighboring parcels.
9. **Utility Installations:** All utilities shall be installed underground.
10. **Screen Parking Lots:** N/A
11. **Irrigation System Required:** No irrigation details have been provided.
12. **Retain Existing Vegetation:** No significant vegetation will be disturbed. All disturbed areas will be reseeded.
13. **Preserve Existing Trees:** No trees are proposed to be removed.
14. **Grading and Drainage:** Review of a grading and drainage plan is a required component of final approval by the City Engineer and issuance of a building permit.
15. **Maintenance:** The landscaping shall be maintained by the property owner.
16. **Sidewalks:** The property is not located in an area identified for future sidewalks.
17. **Bike Paths:** The property is not located along a road designated as Share the Road for bicycles.  
  
Therefore, construction of bike pathways are not required.

#### **DEPARTMENT/AGENCY COMMENTS**

Payette Lake Recreational Water and Sewer District (PLRWSD)



The application was distributed to the PLRWSD more than thirty (30) prior to the February 6<sup>th</sup> McCall Area Planning and Zoning Commission meeting date. In an email dated January 9, 2018, PLRWSD stated they had no comments for this application.

McCall City Engineer

In an email dated January 24, 2018, the City Engineer stated the following:

1. Existing utilities are generally shown on the Site Plan submitted, but it is known that the residence is provided City water service from an existing water meter located near the north east property corner of the site. This water meter should be shown on the Site Plan as well so it can be protected during construction. Care should also be taken to ensure the building addition does not create conflicts with any existing utilities and is not placed directly over existing line(s).
2. The current driveway width should be labeled on the Site Plan at the point where the driveway crosses the property line/ROW line. If any modifications to the driveway are proposed at this location, the maximum width permitted will be 20’.
3. Based on a review of the existing and proposed building areas combined with the proposed driveway areas (from the Lot Coverage information on the Cover Sheet), it appears that the completed project will include less than 5,000 square feet of impervious surface and will not be required to provide permanent best management practices (BMPs) that conform with the City’s drainage management guidelines (DMGs). The project will be required to address sections A, B, and F of the DMGs and include provisions for erosion control during construction and periods of ground disturbance.
4. Upon preparing the final civil design plans and/or detailed erosion control and grading plans for construction, please submit a signed stormwater application (attached) and the formal stormwater drainage report prepared in accordance with the City’s DMGs (addressing sections A, B, and F) for review and approval prior to the issuance of the building permit.

5. Field verification that all erosion control and stormwater management components have been implemented will be made by the City's building official and will be a condition of receiving the final certificate of occupancy.

Based on this initial review, it appears likely that the project will conform to the City's Public Works and engineering requirements.

#### **CONCLUSIONS OF LAW**

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.
2. Adequate notice of the February 6, 2018 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

#### **DECISION**

**THEREFORE**, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review application, provided that the following conditions are met:

1. Prior to issuance of a building permit, the applicant shall record Record-of-Survey ROS-18-02 and provide confirmation from the Valley County Assessor's Office of the lot combination.
2. Prior to issuance of a building permit, the applicant shall provide outdoor lighting fixture details for approval by City staff in accordance with McCall's Outdoor Lighting Ordinance (MCC 3.14).
3. Prior to issuance of a building permit, the applicant shall receive final engineering approval (see agency comments above).
4. Prior to a Certificate of Occupancy, all disturbed areas shall be reseeded with native grass.

5. Pursuant to McCall City Code (MCC 3.16.08), design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Findings of Fact **adopted** this 6<sup>th</sup> day of February, 2018.

---

Fallon Fereday, Chair  
McCall Area Planning and Zoning Commission

Attest:

---

Morgan Bessaw, City Planner  
City of McCall

City of McCall  
216 East Park Street  
McCall, Idaho 83638  
P.208.634.7142

# LAND USE APPLICATION



Date Received:

12/13/17

Fees Paid:

\$325.00

### NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # \_\_\_\_\_ Record of Survey (ROS) - \$420
- # 465 Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # \_\_\_\_\_ Scenic Route (SR) - \$300
- # \_\_\_\_\_ Shoreline or River Environs (SH) - \$300
- # \_\_\_\_\_ Conditional Use Permit (CUP) - \$600
- # \_\_\_\_\_ Administrative Approval (AA) - \$50
- # \_\_\_\_\_ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # \_\_\_\_\_ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # \_\_\_\_\_ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # \_\_\_\_\_ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # \_\_\_\_\_ Minor Plat Amendment - \$1,000
- # \_\_\_\_\_ Variance (VAR) - \$1,000
- # \_\_\_\_\_ Rezone (ZON) - \$1,500
- # \_\_\_\_\_ Zoning Code Amendment (CA) - \$750/title
- # \_\_\_\_\_ Annexation - \$3,000
- # \_\_\_\_\_ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

### PROPERTY OWNER INFORMATION

Property Owner 1: I \_\_\_\_\_ Email: \_\_\_\_\_ u

Mailing Address: \_\_\_\_\_ 2 \_\_\_\_\_ Phone: \_\_\_\_\_ 1

Property Owner 2 (If Applicable): \_\_\_\_\_ Email: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Phone: \_\_\_\_\_

### AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: PAUL HOFFMAN Email: HOFFMAN3409@MSN.COM

Mailing Address: 3235 MTN. VIEW DR., BOISE 83704 Phone: 208.863.1219

### PROPERTY INFORMATION

Address(es) of Property: 910 HAYES STREET, MCCALL, ID 83638

Legal Description of Property: SEE R.O.S 1802 (PARCELS "A" + "B")

Zoning District of Property: R-8 Project Sq. Footage (If Applicable): 1,255 SQ. FT.

Impact Area  City Limits  Residential  Commercial

DR-18-09

# LAND USE APPLICATION CONTINUED

## PROJECT DESCRIPTION

Explain the general nature of what is proposed: (please attach supplemental information if needed)

RESIDENTIAL BUILDING ADDITION CONNECTING EXIST'G CASIN  
W/ EXISTING DETACHED GARAGE

## SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

JEFFREY B. SYMMONDS  
Property Owner 1

[Signature]  
Signature

Property Owner 2 (if Applicable)

[Signature]  
Signature

PAUL A. HOFFMAN  
Agent/Authorized Representative

[Signature]  
Signature

## FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

Surveyor

Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.

[Signature]  
DEC 13 2017  
BY: CK1300  
\$ 325.00



**PROJECT STATISTICS**

SITE LOCATION: PARCEL "A" AND "B"  
SECTION 7, T. 10 N. R. 3 E.  
910 HAYES STREET  
McCALL, IDAHO, 83638

PARCEL #: RPM0000081806

LOT AREA: 0.34 AC. ( 15,000 S.F.)

ZONING: R-8

BUILDING AREAS:

EXISTING GROUND FLOOR: 796 SQ. FT.  
EXISTING DWELLING 1ST & 2ND FLOORS: 1,072 SQ. FT.

1ST FLOOR - PROPOSED: 815 SQ. FT.  
2ND FLOOR - PROPOSED: 440 SQ. FT.  
TOTAL PROPOSED: 1,255 SQ. FT.

DETACHED GARAGE AREA (EXIST'G): 551 SQ. FT.

EXISTING FRONT PORCH: 106 SQ. FT.  
PROPOSED NEW FRONT AND REAR PORCH: 206 SQ. FT.

PLANNING SUMMARY:

BUILDING FOOTPRINT (1,072+812) 1,887 SQ. FT.  
GARAGE (EXISTING) 551 SQ. FT.  
COV. PORCH AREAS 455 SQ. FT.  
TOTAL @ 100% 2,893 SQ. FT.  
WALKWAYS/STAIRS @50% 44 SQ. FT.  
DRIVEWAY @ 35% 789 SQ. FT.  
TOTAL LOT COVERAGE 3,726 SQ. FT.

LOT COVERAGE % 24.8%  
MAX. LOT COVERAGE ALLOWED: 26.0%

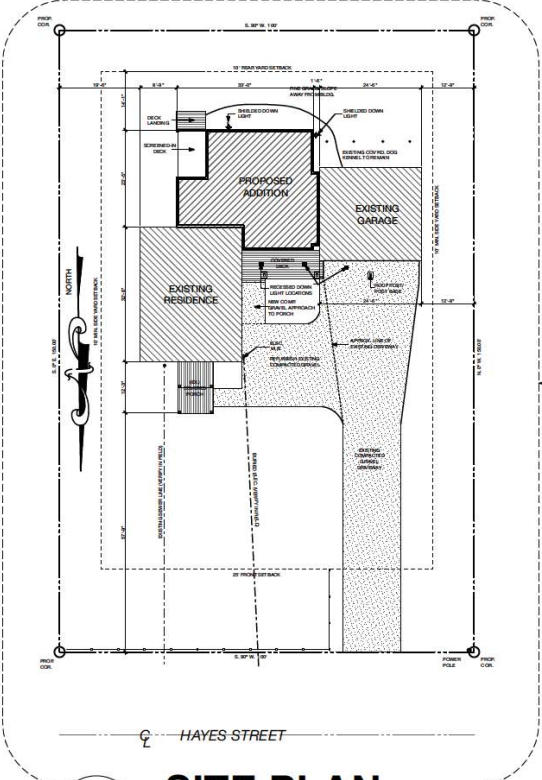
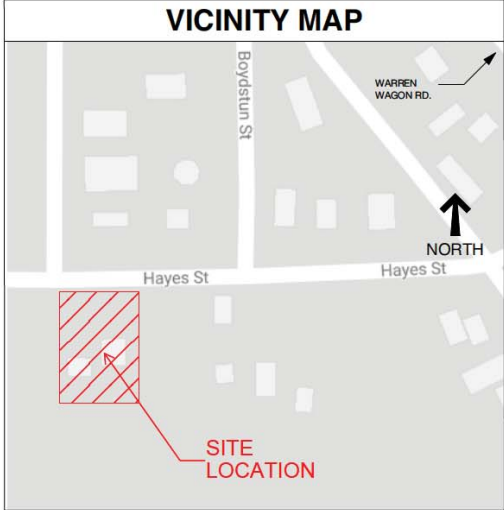


**SYMONDS RESIDENCE**  
RESIDENTIAL BLDG. ADDITION / REMODEL  
910 HAYES STREET, McCall, IDAHO

REVISION BLOCK	
MARK	DATE DESCRIPTION
-	9-5-17 ESTIMATE SET
TBD	DESIGN REVIEW
PROJECT NO: 72207A	
DATE:	7-22-17
DRAWN BY:	PAH
CHKD BY:	
SHEET TITLE	

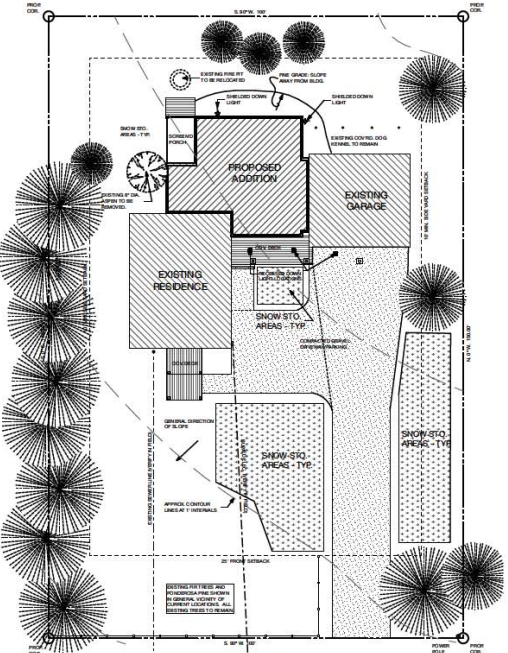
**COVER SHT**

**CS**



**1 SITE PLAN**  
SCALE: 1" = 30'

SEE SCALED-UP SITE PLAN SHT. "SITE"



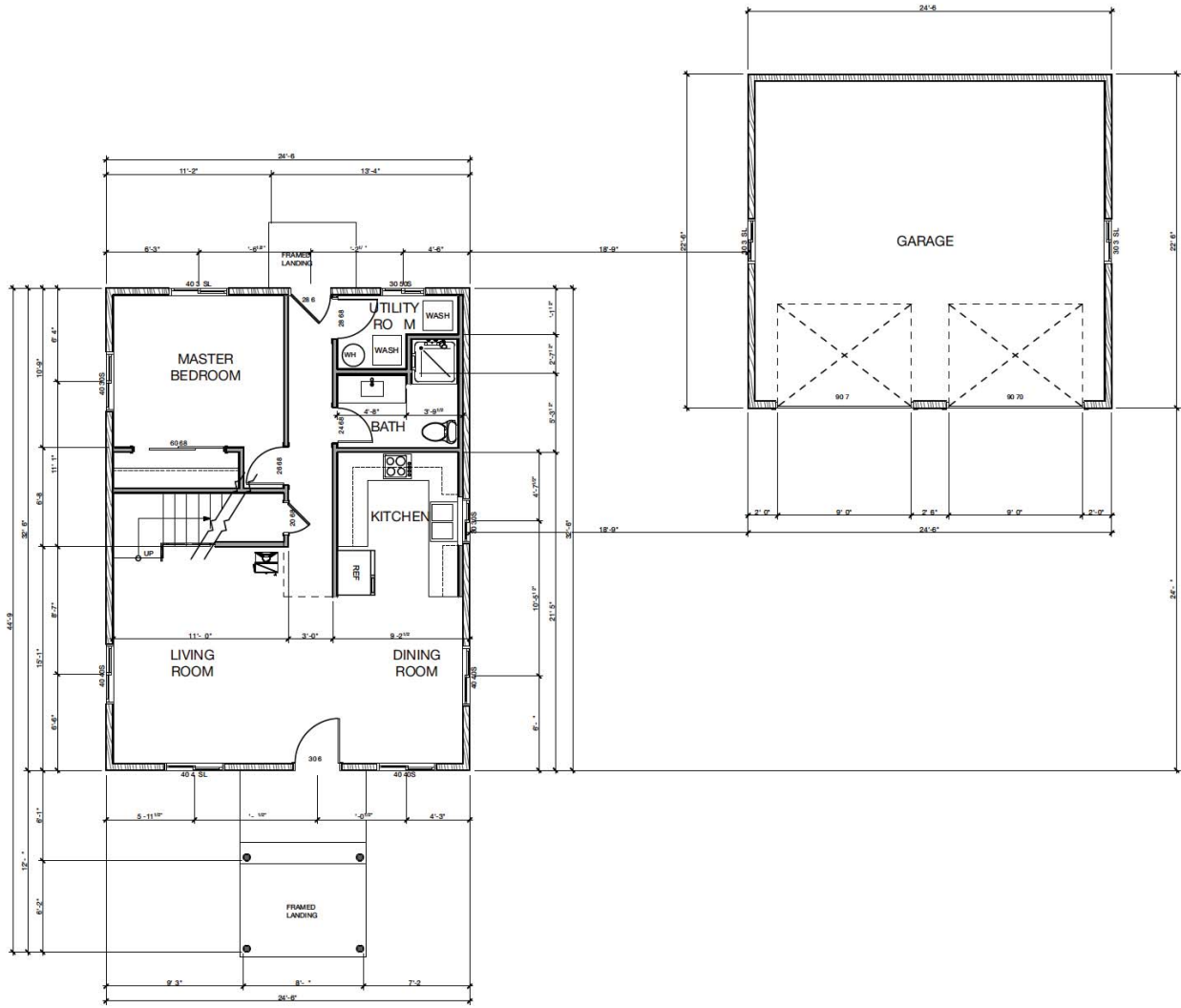
**2 LANDSCAPE PLAN**  
SCALE: 1" = 30'

SNOW STORAGE CALCULATIONS:  
DRIVEWAY AND WALKWAY AREAS: 2,411 SQ. FT.  
X 35% = REQUIRED SNOW STORAGE AREA: 789 SQ. FT.  
SNOW STORAGE PROVIDED: 1,500+ SQ. FT.



SHEET INDEX	
CS	COVER SHEET/PROJECT INFORMATION/ SITE & LANDSCAPE PLANS
SITE	SITE PLAN 20 SCALE
A-1	EXISTING FLOOR PLANS
A-2	1ST FLOOR PLAN
A-3	2ND FLOOR PLAN
A-5	ELEVATIONS
A-6	ELEVATIONS





**1** EXIS ING FLOOR PLANS

S E 8" = 1'-0"



DESIGN, DRAFTING,  
PLANNING  
325 MOUNTAIN VIEW DRIVE  
BOISE, IDAHO 83704  
208-863-1279  
email: hofman3408@man.com  
PAUL A. HOFFMAN

**SYMMONDS RESIDENCE**  
RESIDENTIAL BLDG. ADDITION / REMODEL  
910 HAYES STREET, McCall, IDAHO

REVISION BLOC	
MARK	DATE DESCRIPTION
-	9-5-17 ESTIMATE SET
TBD	DESIGN REVIEW

PROJECT NO: 72207A  
DATE: 7-22-17  
DRAWN BY: PAH  
CHKD BY:

SHEET TITLE  
**EXISTING FLOOR PLA S**

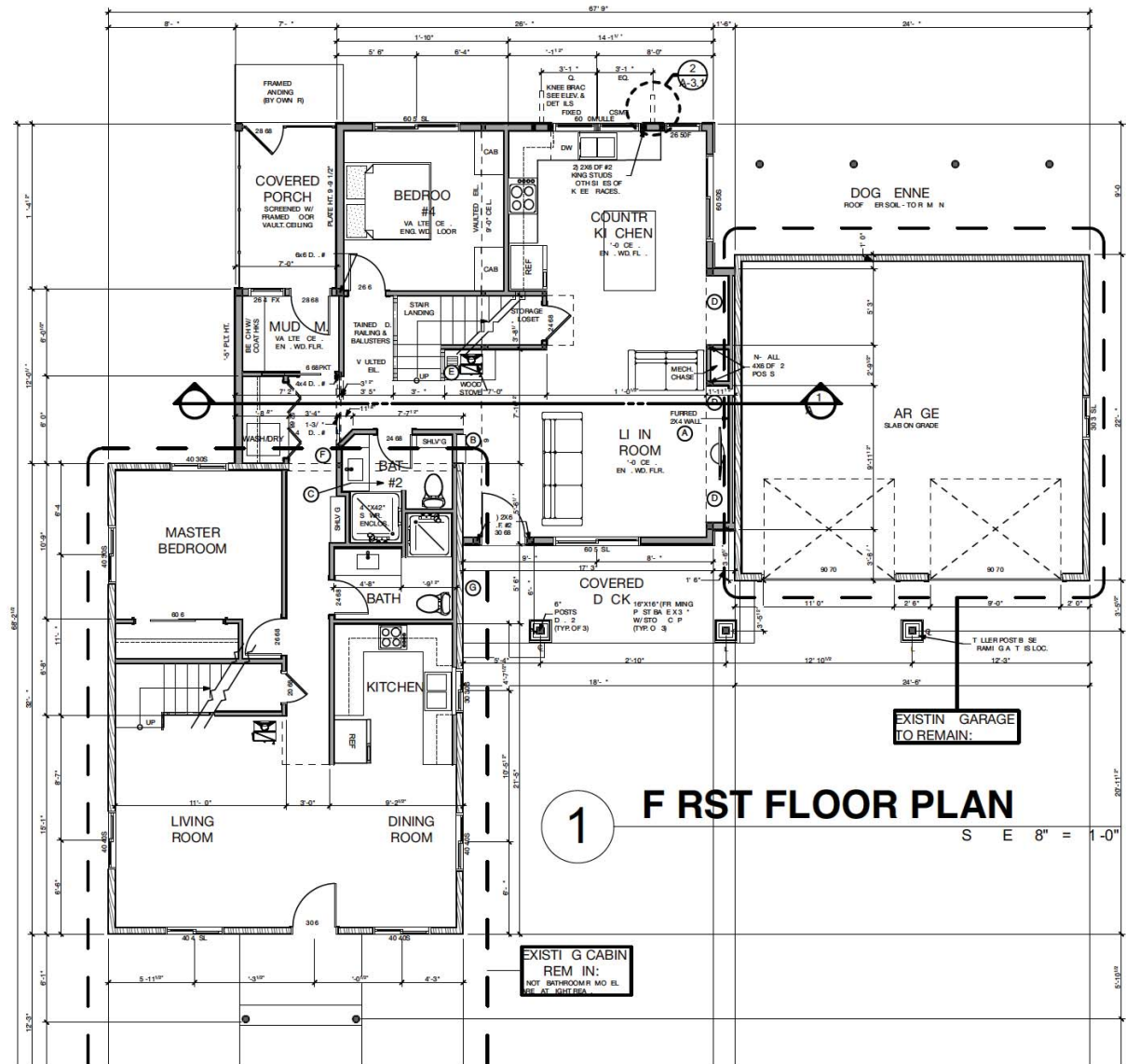
**A-1**





DESIGN, DRAFTING,  
PLANNING  
325 MOUNTAIN VIEW DRIVE  
BOISE, IDAHO 83704  
208-863-1279  
email: hoffman3408@man.com  
PAUL A. HOFFMAN

**SYMONDS RESIDENCE**  
RESIDENTIAL BLDG. ADDITION / REMODEL  
910 HAYES STREET, McCall, IDAHO



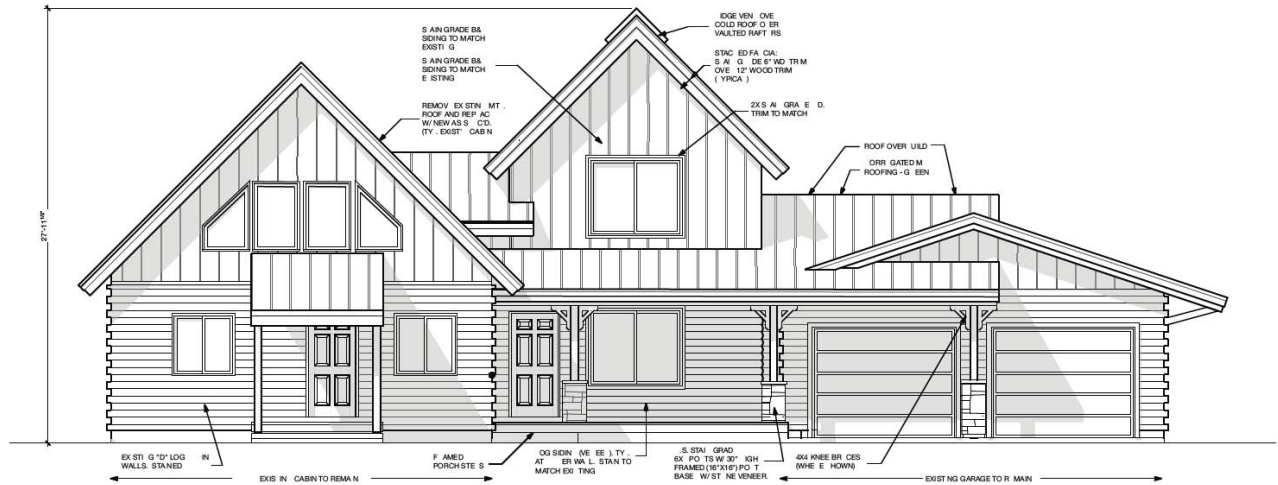
REVISION BLOCK	
MARK	DATE
-	9-5-17
TBD	ESTIMATE SET
	DESIGN REVIEW
PROJECT NO: 72207A	
DATE: 7-22-17	
DRAWN BY: PAH	
CHKD BY:	
SHEET TITLE	

**FIRST FLOOR PLAN**

**A-2**

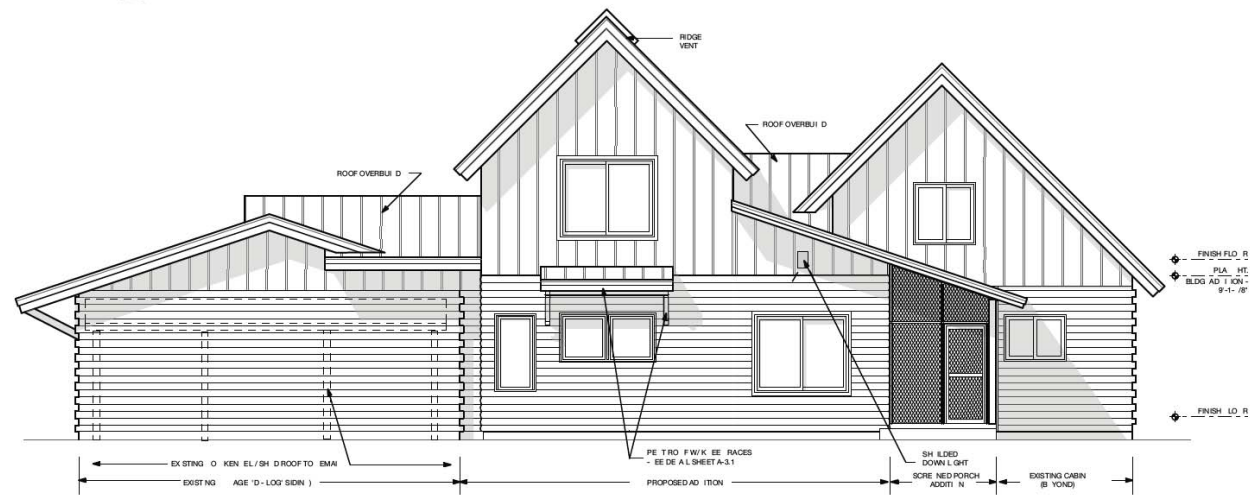






**1 NORTH ELEVATION**

S E 8" = 1-0"



**2 SOUTH ELEVATION**

S E 8" = 1-0"



**DESIGN, DRAFTING,  
PLANNING**  
325 MOUNTAIN VIEW DRIVE  
BOISE, IDAHO 83704  
208-863-1279  
email: hoffman3408@man.com  
PAUL A. HOFFMAN

**SYMONDS RESIDENCE**  
RESIDENTIAL BLDG. ADDITION / REMODEL  
910 HAYES STREET, McCALL, IDAHO

REVISION BL. C	
MARK	DESCRIPTION
-	9-5-17 ESTIMATE SET
TBD	DESIGN REVIEW

PROJECT NO.: 72207A  
DATE: 7-22-17  
DRAWN BY: PAH  
CHKD BY:

SHEET TITLE  
**BUILDING ELEVATION S**

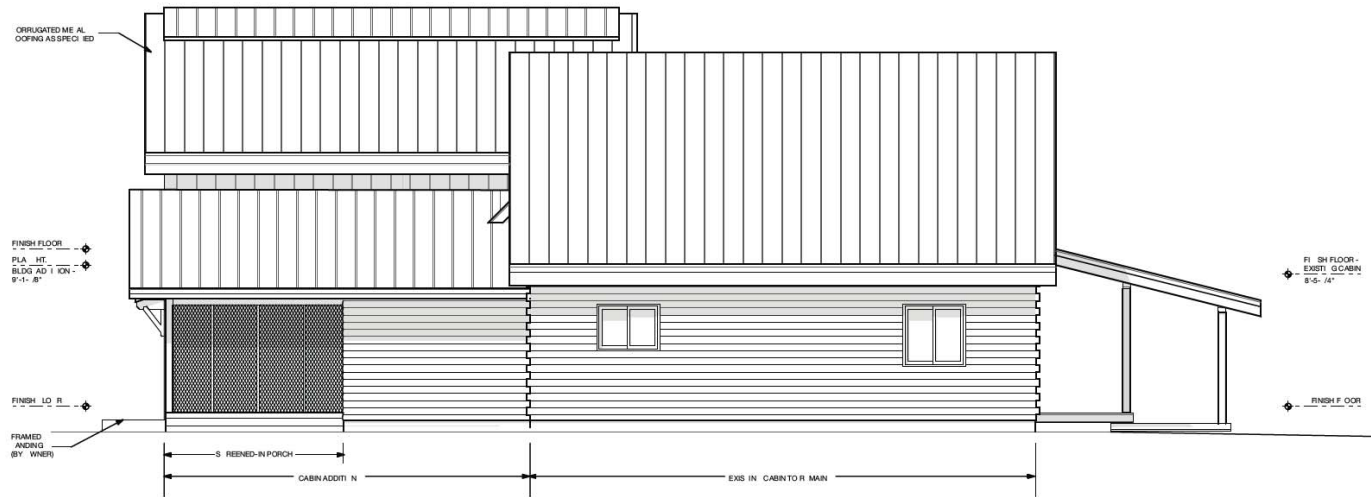
**A-5**



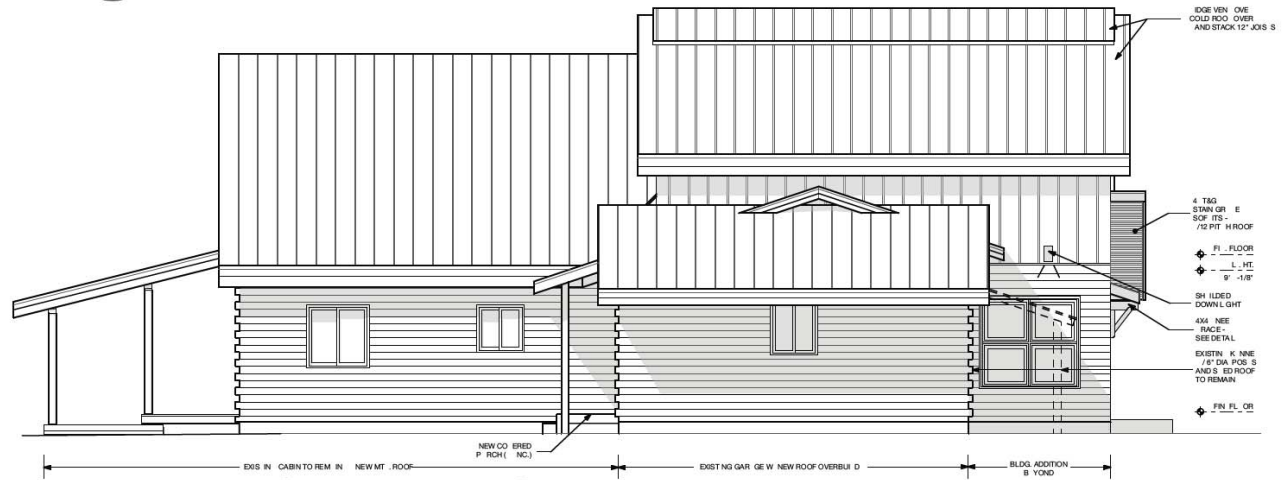
DESIGN, DRAFTING,  
PLANNING  
325 MOUNTAIN VIEW DRIVE  
BOISE, IDAHO 83704  
208-863-1279  
email: hofman3408@man.com  
PAUL A. HOFFMAN

**SYMONDS RESIDENCE**  
RESIDENTIAL BLDG. ADDITION / REMODEL  
910 HAYES STREET, McCall, IDAHO

REVISION BLOCK	
MARK	DESCRIPTION
-	9-5-17 ESTIMATE SET
TBD	DESIGN REVIEW
PROJECT NO.: 72207A	
DATE: 7-22-17	
DRAWN BY: PAH	
CHK'D BY:	
SHEET TITLE	
<b>BUILDING ELEVATION S</b>	



**1 EAST ELEVATION**

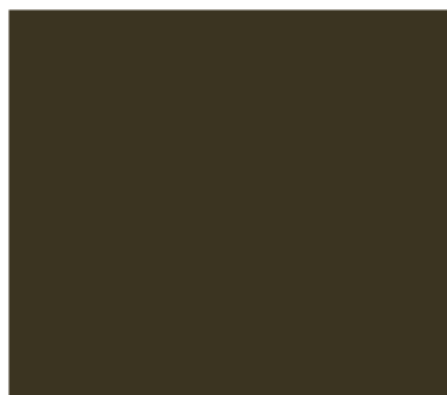


**2 WEST ELEVATION**

**A-6**



**Weathered  
Copper**



**McCall Area Planning and Zoning Commission  
Staff Report**

**SH-17-15**  
*217 Morgan Dr.*  
*Helpenstell Residence*

February 6, 2018

Applicant: Tom Helpenstell  
Agent: Pinetop Custom Homes  
Application: Shoreline and River Environs Zone  
Zoning: R8 – Medium Density Residential

---

**Description**

A Shoreline Review application to construct a new single family dwelling of approximately 2,875 sq. ft. with an attached garage of 1,893 sq. ft. and a detached 1,100 sq. ft. garage and caretaker's quarters.

Lot Size: 134,879 sq. ft. (3.1 acres)

Lot Coverage: 7,853 sq. ft. (45% of allowable)

Building Height: 26 ft. 10 in. above grade

Setbacks: Front: 90 ft., Rear: 80+ ft. (to the Ordinary High Water Mark of Payette River), Side: 15+ ft.

**Code Narrative**

Pursuant to MCC 3.7.02, Shoreline review is required for any project within 150 feet of the Ordinary High Water Mark of the Payette River.

**Design Guideline Narrative**

Design Review is provided by the River's Crossing architectural review committee, pursuant to MCC 3.16.02.

**Comments**

*Agency –*

McCall City Arborist

In an email dated August 24, 2017, the City Arborist requested a plan that identifies how the applicant plans to mitigate disturbance during and after construction for noxious weeds, which are a problem in this area, and preserve and or protect existing trees and vegetation outside the building footprint.

McCall GIS and Addressing Coordinator

In an email dated August 24, 2017, the Addressing Coordinator stated the following:

1. There is no Recreational Easement identified on the site plan or the drainage easement on the south west property boundary.



2. The address for the primary dwelling will be 217 Morgan Dr. and the accessory dwelling will be 217 Morgan Dr. Unit B.

Payette Lake Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the February 6<sup>th</sup> McCall Area Planning and Zoning Commission meeting date. In a letter dated September 5, 2017, PLRWSD stated the following:

1. There is a sewer service connection for this lot in the area of construction, the sewer service connection shall be protected from damage during construction of the proposed structure(s) to prevent excessive water, or debris from entering the sewer system. Failure to do so will result in the owner/contractor being responsible for any cost incurred by the District for cleaning or removing debris that enters the sewer system.
2. Purchase of a sewer connection permit for each of the proposed structures will be required before construction begins.
3. Only one sewer service connection has been provided to the lot, the second structure will be required to connect independently to the sewer main. The owner/contractor shall contact the District for specifications regarding this connection before any construction begins.
4. Inflows of surface water and excessive infiltration are prohibited. Such prohibited sources of inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day. Storm water connection, sub-water drains, floor drains located within garages, foundation drains, roof drains, swimming pools, street drains, basement drains, sump pumps and abandoned sewer lines.
5. The owner/contractor shall notify the District two (2) business days before connection to the sewer stub.

McCall City Engineer

In an email dated January 29, 2018, the City Engineer provided the following comments:

1. Based on a review of the proposed building areas combined with the proposed asphalt driveway area, it appears that the completed project will include more than 5,000 square feet of impervious surface and will be required to provide permanent best management practices (BMPs) that conform with the City's drainage management guidelines (DMGs), Sections A, B, C, D, and F.
2. Upon preparing the final civil design plans and detailed grading plans for construction (with permanent BMPs included), please submit a signed stormwater application (attached) and the formal stormwater drainage report prepared in accordance with the City's DMGs for review and approval prior to the issuance of the building permit.
3. Field verification that all erosion control and stormwater management components have been implemented will be made by the City's building official and will be a condition of receiving the final certificate of occupancy.
4. The 100 year floodplain limits shown on Sheets A2 and A3 (dated 1/19/2017) reflect the "Preliminary" floodplain currently under review by FEMA for final approval. Based on this floodplain delineation, the Base Flood Elevation (BFE) on the lot is at the north property line

with an elevation of 4928.8 (on NAVD 88 datum). Please provide the proposed elevations based on NAVD 88 datum on the building plans to identify finished grade of the crawl spaces, garage slabs, and first floor elevations to ensure all floodplain management regulations are met.

Based on this initial review, it appears likely that the project will conform to the City's Public Works and engineering requirements.

*Public* – No public comment has been received to date.

### **Commission Findings**

The Commission hereby makes the following findings:

1. The project is in general conformance with the Comprehensive Plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable specifications outlined in the City of McCall Design Guidelines as well as all other applicable requirements of the Zoning.

### **Conditions of Approval**

1. Prior to issuance of a building permit, the applicant shall provide an updated landscaping and tree protection plan, per the City Arborist's comments above.
2. Prior to issuance of a building permit, the applicant shall provide final approval from Payette Lakes Recreational Water and Sewer District for two sewer connections, per agency comments above.
3. Prior to issuance of a building permit, a Floodplain Development Permit shall be issued.
4. Prior to issuance of a building permit, the application shall receive final engineering approval.
5. Pursuant to McCall City Code (MCC 3.16.08), this approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

IN RE: )  
)  
Helpenstell Residence ) **McCALL AREA PLANNING AND ZONING COMMISSION**  
Design Review ) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**  
) **DECISION**  
)  
)  
Application Number: )  
SH-17-15 )

**FINDINGS OF FACTS**

**Applicant:** Tom Helpenstell

**Representative:** Pinetop Custom Homes

**Application:** A Shoreline Review application to construct a new single family dwelling of approximately 2,875 sq. ft. with an attached garage of 1,893 sq. ft. and a detached 1,100 sq. ft. garage and caretaker’s quarters.

**Address:** 217 Morgan Dr., McCall, ID 83638

**Location:** Lot 20 in River’s Crossing Subdivision situate in the South ½ of S17, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

**Public Notice:** Public noticing requirements were administratively waived, pursuant to McCall City Code section 3.16.03.A.

**Zoning:** R8 – Medium Density Residential

**Property Size:** 134,879 sq. ft. (3.1 acres)

**Lot Coverage:** 7,853 sq. ft. (45% of allowable)

**Building Height:** 26 ft. 10 in. above grade

**Setbacks:** Front: 90 ft.  
Rear: 80+ ft. (to the Ordinary High Water Mark of Payette River)  
Side: 15+ ft.

**Parking Spaces:** Provided: Three spaces are provided within the attached garage. Additionally, the site plan accommodates on-site parking of approximately three more vehicles.

Required: 2, pursuant to McCall City Code (MCC 3.8.062).

### **APPROVAL STANDARDS**

#### **Title 3, Chapter 7**

##### **Shoreline and River Environs Zone**

**No conditional use or building permit shall be issued, nor is any development, grading, or alteration of any land within this zone permitted, unless the applicant establishes to the satisfaction of the commission and council in the case of a conditional use, or of the administrator in the case of a building permit, that:**

- 1. The proposed development meets all applicable requirements of this title and title IX of this code.** The proposed site plan and structure meet the applicable requirements of MCC Title 3 and Title 9.
- 2. The plans accurately identify the water pool shore contours and high water marks, which, in the case of river environs, shall mean the limits of the area of special flood hazard. The site plan indicates the Water Pool Shore Contour elevation.** The submitted plans accurately identify the Ordinary High Water Mark of the Payette River and the special flood hazard area.
- 3. A letter is on file from a specialist certified by the United States army corps of engineers wetlands expert that certifies that no wetlands related issues or issues related to fill of navigable waters issues were presented by the proposed development; or that a section 404 permit has been issued or is forthcoming by the corps of engineers, whichever is appropriate, city approval(s) under this title and title IX of this code are contingent upon all applicable**

**section 404 permit requirements being met.** It appears that a 404 permit will not be necessary although the City reserves the right to require this at a later date if it becomes necessary.

4. **The requirements of the underlying zone are met.** The requirements of the underlying zone have been met.
5. **The fifty foot (50') building setback line is met per subsection (C)3(c) of this section.** The fifty foot (50') building setback is met pursuant to McCall City Code 3.7.02.
6. **Proof of stormwater certification training has been provided by the individual applying for the building permit.** Proof of stormwater certification is required prior to issuance of a building permit.

#### **DEPARTMENT/AGENCY COMMENTS**

##### McCall City Arborist

In an email dated August 24, 2017, the City Arborist requested a plan that identifies how the applicant plans to mitigate disturbance during and after construction for noxious weeds, which are a problem in this area, and preserve and or protect existing trees and vegetation outside the building footprint.

##### McCall GIS and Addressing Coordinator

In an email dated August 24, 2017, the Addressing Coordinator stated the following:

1. There is no Recreational Easement identified on the site plan or the drainage easement on the south west property boundary.
2. The address for the primary dwelling will be 217 Morgan Dr. and the accessory dwelling will be 217 Morgan Dr. Unit B.

##### Payette Lake Recreational Water and Sewer District (PLRWSD)

The application was distributed to the PLRWSD more than thirty (30) prior to the February 6<sup>th</sup> McCall Area Planning and Zoning Commission meeting date. In a letter dated September 5, 2017, PLRWSD stated the following:



1. There is a sewer service connection for this lot in the area of construction, the sewer service connection shall be protected from damage during construction of the proposed structure(s) to prevent excessive water, or debris from entering the sewer system. Failure to do so will result in the owner/contractor being responsible for any cost incurred by the District for cleaning or removing debris that enters the sewer system.
2. Purchase of a sewer connection permit for each of the proposed structures will be required before construction begins.
3. Only one sewer service connection has been provided to the lot, the second structure will be required to connect independently to the sewer main. The owner/contractor shall contact the District for specifications regarding this connection before any construction begins.
4. Inflows of surface water and excessive infiltration are prohibited. Such prohibited sources of inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day. Storm water connection, sub-water drains, floor drains located within garages, foundation drains, roof drains, swimming pools, street drains, basement drains, sump pumps and abandoned sewer lines.
5. The owner/contractor shall notify the District two (2) business days before connection to the sewer stub.

McCall City Engineer

In an email dated January 29, 2018, the City Engineer provided the following comments:

1. Based on a review of the proposed building areas combined with the proposed asphalt driveway area, it appears that the completed project will include more than 5,000 square feet of impervious surface and will be required to provide permanent best management practices (BMPs) that conform with the City's drainage management guidelines (DMGs), Sections A, B, C, D, and F.

2. Upon preparing the final civil design plans and detailed grading plans for construction (with permanent BMPs included), please submit a signed stormwater application (attached) and the formal stormwater drainage report prepared in accordance with the City's DMGs for review and approval prior to the issuance of the building permit.
3. Field verification that all erosion control and stormwater management components have been implemented will be made by the City's building official and will be a condition of receiving the final certificate of occupancy.
4. The 100 year floodplain limits shown on Sheets A2 and A3 (dated 1/19/2017) reflect the "Preliminary" floodplain currently under review by FEMA for final approval. Based on this floodplain delineation, the Base Flood Elevation (BFE) on the lot is at the north property line with an elevation of 4928.8 (on NAVD 88 datum). Please provide the proposed elevations based on NAVD 88 datum on the building plans to identify finished grade of the crawl spaces, garage slabs, and first floor elevations to ensure all floodplain management regulations are met.

Based on this initial review, it appears likely that the project will conform to the City's Public Works and engineering requirements.

#### **CONCLUSIONS OF LAW**

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.
2. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

#### **DECISION**

**THEREFORE**, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review application, provided that the following conditions are met:

1. Prior to issuance of a building permit, the applicant shall provide an updated landscaping and tree protection plan, per the City Arborist’s comments above.
2. Prior to issuance of a building permit, the applicant shall provide final approval from Payette Lakes Recreational Water and Sewer District for two sewer connections, per agency comments above.
3. Prior to issuance of a building permit, a Floodplain Development Permit shall be issued.
4. Prior to issuance of a building permit, the application shall receive final engineering approval.
5. Pursuant to McCall City Code (MCC 3.16.08), this approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Findings of Fact **adopted** this 6<sup>th</sup> day of February, 2018.

---

Fallon Fereday, Chair  
McCall Area Planning and Zoning Commission

Attest:

---

Morgan Bessaw, City Planner  
City of McCall

Shoreline

AUG 29 2017

City of McCall  
216 East Park Street  
McCall, Idaho 83638  
P: (208) 634-7142  
F: (208) 634-3038

~~DESIGN REVIEW~~  
APPLICATION

CK 150  
\$300



City of McCall  
COMMUNITY DEVELOPMENT

Application #: SH-17-15  
Date Received: 08-21-17  
Design Review Fee: \$ 300 + 75

NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall contracts these services to private firms. The cost of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

COMPANION APPLICATIONS

Scenic Route  
SR- - -

CUP  
CUP- - -

PUD  
PUD- - -

Subdivision  
SUB- - -

Re-Zone  
ZON- - -

OWNER OF RECORD/APPLICANT CONTACT INFORMATION

Owner of Record Name: Tom Helpenstell

Owner's Mailing Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Application Contact Name: Dusty Bitton

Address: 112 N. 3rd St/PO Box 4110 McCall, ID 83638

Phone: 208-315-0090 Email: dusty@pinetopmccall.com

PROJECT INFORMATION

Property Address: 217 Morgan Drive McCall, ID 83638

Legal Description of Property: Lot 20 River's Crossing Subdivision

Zone: \_\_\_\_\_

Impact Area:

Shoreline Zone:

Scenic Route:

Residential:

Commercial:

BRIEF PROJECT DESCRIPTION

New residential construction. 2875 sq. ft. 3 bedroom, 3 bathroom, 3-car garage with detached 557 sq. ft. 1 bedroom, 1 bathroom, 1-car garage caretakers quarters.



## APPLICATION SUBMISSION

The applicant is required to provide the following number of application Packets

- 2 – Hard copies (In color where necessary; no plans larger than 11x17)
- 1 – CD (All application materials in PDF format)

## APPLICATION CHECKLIST

Each application packet must contain the following, unless shown and explained otherwise:

- \$300 Fee
- Application Form
- Project Description
- Plans, Elevations, and Maps
  - Site Plan, including:
    - Lot Size (square footage and dimensions)
    - Setbacks (existing and proposed)
    - Property Frontage
    - Lot Coverage Calculations
    - Project Square Footage
    - Maximum Building Height(s)
    - Landscaping
    - Snow Storage
  - General Plans, providing the following details:
    - Elevations & Floor Plans
    - Exterior Lighting
    - Utilities
    - Material Descriptions and Colors
  - Vicinity Map
  - Site Photos
  - Drainage/Stormwater Plans
- 3D Rendering of Proposed Project (Required for Shoreline Zone Applications, Recommended for Others)

## APPLICANT AGREEMENT

The Applicant agrees, to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall Zoning Code. I give permission for City representatives and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide access to the subject property may result in denial of this application.

\_\_\_\_\_  
Signature of Owner or Authorized Representative

08-24-17  
\_\_\_\_\_  
Date





M H H

RVERS R 55 20  
 S A E = 25.0



A	P N	P	RM 1 A H R H P N		7
			R R R R N G # M A		
P N		P		M H H	



A	P N	P	RM 1 A H R H P N		7
			R R R R N G # M A		
P N		P		U U U U U U U U U U U U U U U U	









LANDSCAPE PLAN 1" = 10'-0"

NO.	DATE	DESCRIPTION

PAGE	TITLE
A1	COVER SHEET
A2	SITE PLAN
A3	LANDSCAPE PLAN
A4	FLOOR PLAN - 1ST LEVEL
A5	FOUNDATION PLAN
A6	DETAIL VIEWS
A7	SMALL BRACKS
A8	FLOOR FRAMING
A9	ROOF LAYOUT - 1ST LEVEL
A10	SECTION VIEWS
A11	SECTION VIEWS
A12	ELEVATIONS
A13	ELEVATIONS
A14	ELEVATIONS
E1	ELECTRICAL
A15	CARETAKER'S QUARTERS
A16	CARETAKER'S QUARTERS
A17	CARETAKER'S QUARTERS

**LANDSCAPE PLAN**

3 BEDRM. 1 1/2 BATH HOME  
 LOT #20 RIVERS CROSSING, MCCALL, ID

SCALE: SEE PLAN

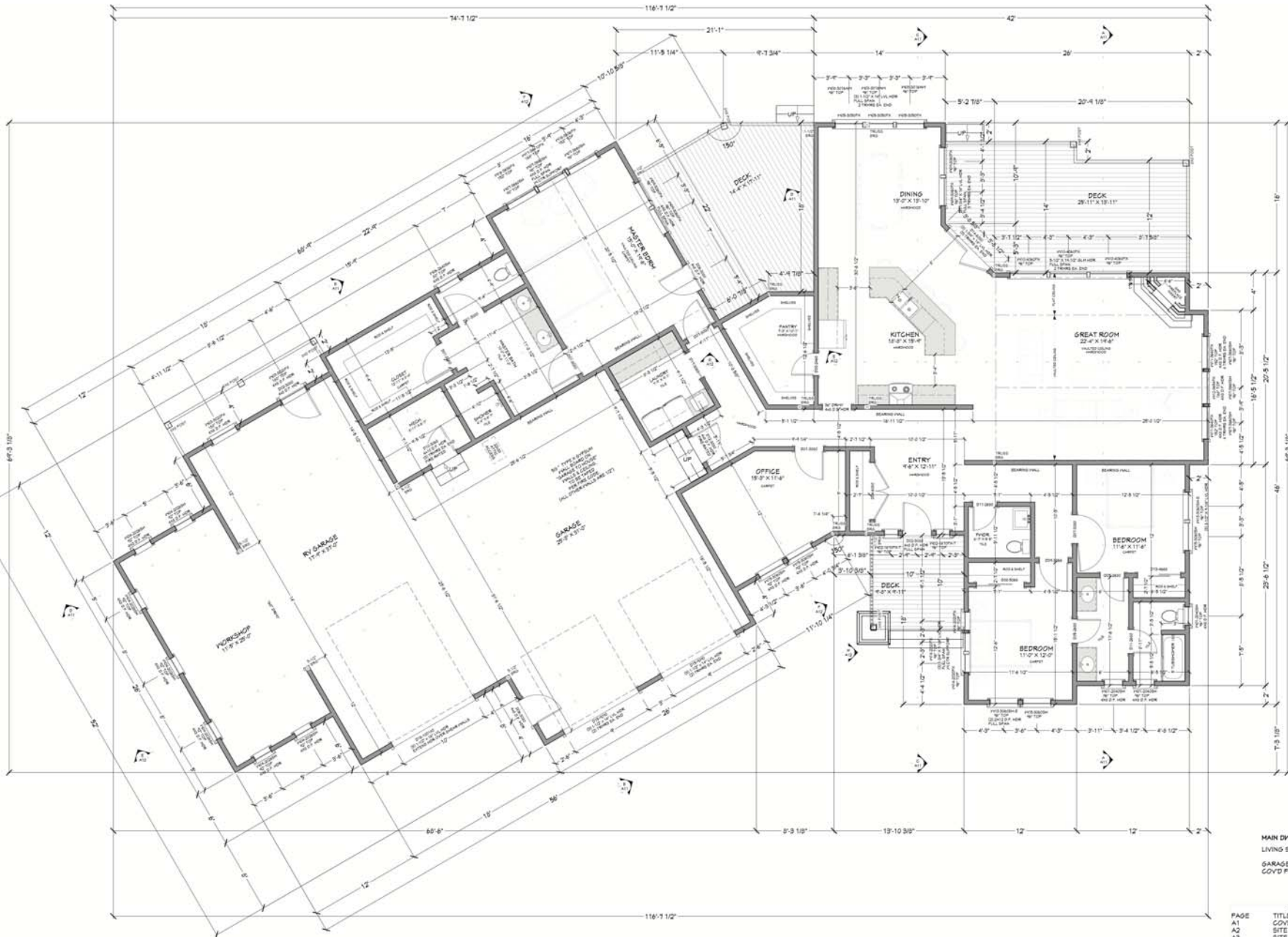
INITIAL SHEET: 10/24/2013  
 REVISION DATE: 3/27/2014

LENNED  
 ARCHITECTS  
 AND DESIGN

3/26

PROJECT NUMBER: A4  
 PAGE 1 OF 16





FLOOR PLAN - 1ST LEVEL 1/4" = 1'-0"

NO.	DATE	DESCRIPTION	BY	CHKD.
1	10/24/2013	ISSUED FOR PERMITS	JL	ML
2	12/17/2013	REVISED PER PERMITS	JL	ML

NO.	DATE	DESCRIPTION	BY	CHKD.
1	10/24/2013	ISSUED FOR PERMITS	JL	ML
2	12/17/2013	REVISED PER PERMITS	JL	ML

**MAIN LEVEL NOTES:**  
 ALL ANGLE 45° UNO  
 2x6 EXT. WALLS @ 16" O.C.  
 10'-1 1/8" PLATE HEIGHT UNO  
 ALL PARTITION DIMENSIONS  
 ARE TO FACE OF STUD

**MAIN DWELLING**

LIVING SPACE	2079 sq. ft.
GARAGE	1049 sq. ft.
COVERED PORCH/DECK	104 sq. ft.

**SHEET INDEX**

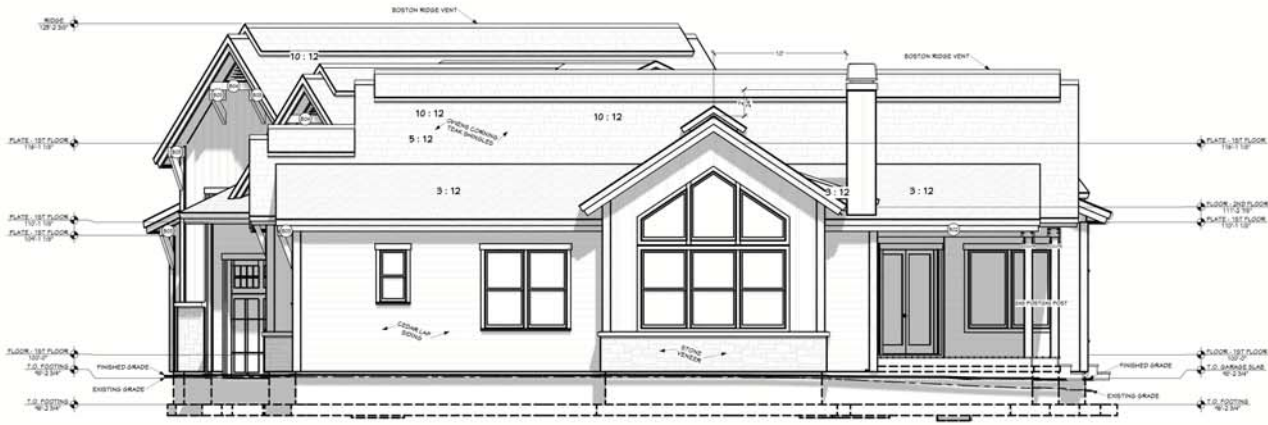
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A9	FLOOR FRAMING
A10	ROOF LAYOUT - 1ST LEVEL
A11	SECTION VIEWS
A12	SECTION VIEWS
A13	ELEVATIONS
A14	ELEVATIONS
E1	ELECTRICAL
A15	CARETAKER'S QUARTERS
A16	CARETAKER'S QUARTERS
A17	CARETAKER'S QUARTERS

**3 BEDRM. 1 1/2 BATH HOME**  
**LOT # 20 RIVERS CROSSINGS, MCCALL, 10**  
 SCALE: SEE PLAN  
 INITIAL DATE: 10/24/2013  
 PRINT DATE: 12/17/2013  
**FLOOR PLAN - 1ST LEVEL**  
 SHEET INDEX  
**A5**  
 PAGE 1 OF 16





FRONT ELEVATION 1/4" = 1'-0"



RIGHT ELEVATION 1/4" = 1'-0"

ROOF SCHEDULE

NO.	AREA	DESCRIPTION	THICKNESS	TYPE
1	1	FLAT	1 1/2"	ASPH/FLT
2	2	GABLE	1 1/2"	ASPH/FLT
3	3	DORMER	1 1/2"	ASPH/FLT
4	4	CHIMNEY	1 1/2"	ASPH/FLT
5	5	FLASHING	1 1/2"	ASPH/FLT
6	6	TRIM	1 1/2"	ASPH/FLT
7	7	VALLEY	1 1/2"	ASPH/FLT
8	8	EDGE	1 1/2"	ASPH/FLT
9	9	WALL	1 1/2"	ASPH/FLT
10	10	ROOF	1 1/2"	ASPH/FLT
11	11	FLASHING	1 1/2"	ASPH/FLT
12	12	TRIM	1 1/2"	ASPH/FLT
13	13	VALLEY	1 1/2"	ASPH/FLT
14	14	EDGE	1 1/2"	ASPH/FLT
15	15	WALL	1 1/2"	ASPH/FLT
16	16	ROOF	1 1/2"	ASPH/FLT
17	17	FLASHING	1 1/2"	ASPH/FLT
18	18	TRIM	1 1/2"	ASPH/FLT
19	19	VALLEY	1 1/2"	ASPH/FLT
20	20	EDGE	1 1/2"	ASPH/FLT
21	21	WALL	1 1/2"	ASPH/FLT
22	22	ROOF	1 1/2"	ASPH/FLT
23	23	FLASHING	1 1/2"	ASPH/FLT
24	24	TRIM	1 1/2"	ASPH/FLT
25	25	VALLEY	1 1/2"	ASPH/FLT
26	26	EDGE	1 1/2"	ASPH/FLT
27	27	WALL	1 1/2"	ASPH/FLT
28	28	ROOF	1 1/2"	ASPH/FLT
29	29	FLASHING	1 1/2"	ASPH/FLT
30	30	TRIM	1 1/2"	ASPH/FLT
31	31	VALLEY	1 1/2"	ASPH/FLT
32	32	EDGE	1 1/2"	ASPH/FLT
33	33	WALL	1 1/2"	ASPH/FLT
34	34	ROOF	1 1/2"	ASPH/FLT
35	35	FLASHING	1 1/2"	ASPH/FLT
36	36	TRIM	1 1/2"	ASPH/FLT
37	37	VALLEY	1 1/2"	ASPH/FLT
38	38	EDGE	1 1/2"	ASPH/FLT
39	39	WALL	1 1/2"	ASPH/FLT
40	40	ROOF	1 1/2"	ASPH/FLT
41	41	FLASHING	1 1/2"	ASPH/FLT
42	42	TRIM	1 1/2"	ASPH/FLT
43	43	VALLEY	1 1/2"	ASPH/FLT
44	44	EDGE	1 1/2"	ASPH/FLT
45	45	WALL	1 1/2"	ASPH/FLT
46	46	ROOF	1 1/2"	ASPH/FLT
47	47	FLASHING	1 1/2"	ASPH/FLT
48	48	TRIM	1 1/2"	ASPH/FLT
49	49	VALLEY	1 1/2"	ASPH/FLT
50	50	EDGE	1 1/2"	ASPH/FLT
51	51	WALL	1 1/2"	ASPH/FLT
52	52	ROOF	1 1/2"	ASPH/FLT
53	53	FLASHING	1 1/2"	ASPH/FLT
54	54	TRIM	1 1/2"	ASPH/FLT
55	55	VALLEY	1 1/2"	ASPH/FLT
56	56	EDGE	1 1/2"	ASPH/FLT
57	57	WALL	1 1/2"	ASPH/FLT
58	58	ROOF	1 1/2"	ASPH/FLT
59	59	FLASHING	1 1/2"	ASPH/FLT
60	60	TRIM	1 1/2"	ASPH/FLT
61	61	VALLEY	1 1/2"	ASPH/FLT
62	62	EDGE	1 1/2"	ASPH/FLT
63	63	WALL	1 1/2"	ASPH/FLT
64	64	ROOF	1 1/2"	ASPH/FLT
65	65	FLASHING	1 1/2"	ASPH/FLT
66	66	TRIM	1 1/2"	ASPH/FLT
67	67	VALLEY	1 1/2"	ASPH/FLT
68	68	EDGE	1 1/2"	ASPH/FLT
69	69	WALL	1 1/2"	ASPH/FLT
70	70	ROOF	1 1/2"	ASPH/FLT
71	71	FLASHING	1 1/2"	ASPH/FLT
72	72	TRIM	1 1/2"	ASPH/FLT
73	73	VALLEY	1 1/2"	ASPH/FLT
74	74	EDGE	1 1/2"	ASPH/FLT
75	75	WALL	1 1/2"	ASPH/FLT
76	76	ROOF	1 1/2"	ASPH/FLT
77	77	FLASHING	1 1/2"	ASPH/FLT
78	78	TRIM	1 1/2"	ASPH/FLT
79	79	VALLEY	1 1/2"	ASPH/FLT
80	80	EDGE	1 1/2"	ASPH/FLT
81	81	WALL	1 1/2"	ASPH/FLT
82	82	ROOF	1 1/2"	ASPH/FLT
83	83	FLASHING	1 1/2"	ASPH/FLT
84	84	TRIM	1 1/2"	ASPH/FLT
85	85	VALLEY	1 1/2"	ASPH/FLT
86	86	EDGE	1 1/2"	ASPH/FLT
87	87	WALL	1 1/2"	ASPH/FLT
88	88	ROOF	1 1/2"	ASPH/FLT
89	89	FLASHING	1 1/2"	ASPH/FLT
90	90	TRIM	1 1/2"	ASPH/FLT
91	91	VALLEY	1 1/2"	ASPH/FLT
92	92	EDGE	1 1/2"	ASPH/FLT
93	93	WALL	1 1/2"	ASPH/FLT
94	94	ROOF	1 1/2"	ASPH/FLT
95	95	FLASHING	1 1/2"	ASPH/FLT
96	96	TRIM	1 1/2"	ASPH/FLT
97	97	VALLEY	1 1/2"	ASPH/FLT
98	98	EDGE	1 1/2"	ASPH/FLT
99	99	WALL	1 1/2"	ASPH/FLT
100	100	ROOF	1 1/2"	ASPH/FLT

WALL SCHEDULE

NO.	AREA	DESCRIPTION	THICKNESS	TYPE
1	1	FLY	12"	CMU
2	2	FLY	12"	CMU
3	3	FLY	12"	CMU
4	4	FLY	12"	CMU
5	5	FLY	12"	CMU
6	6	FLY	12"	CMU
7	7	FLY	12"	CMU
8	8	FLY	12"	CMU
9	9	FLY	12"	CMU
10	10	FLY	12"	CMU
11	11	FLY	12"	CMU
12	12	FLY	12"	CMU
13	13	FLY	12"	CMU
14	14	FLY	12"	CMU
15	15	FLY	12"	CMU
16	16	FLY	12"	CMU
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69	69	FLY	12"	CMU
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71	71	FLY	12"	CMU
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73	73	FLY	12"	CMU
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93	93	FLY	12"	CMU
94	94	FLY	12"	CMU
95	95	FLY	12"	CMU
96	96	FLY	12"	CMU
97	97	FLY	12"	CMU
98	98	FLY	12"	CMU
99	99	FLY	12"	CMU
100	100	FLY	12"	CMU

SHEET INDEX

PAGE	TITLE
A1	COVER SHEET
A2	SITE PLAN
A3	SITE PLAN
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A5	FLOOR PLAN - 1ST LEVEL
A6	FOUNDATION PLAN
A7	DETAIL VIEWS
A8	WALL BRACING
A9	FLOOR FRAMING
A10	ROOF LAYOUT - 1ST LEVEL
A11	SECTION VIEWS
A12	SECTION VIEWS
A13	ELEVATIONS
A14	ELEVATIONS
E1	ELECTRICAL
A15	CARETAKER'S QUARTERS
A16	CARETAKER'S QUARTERS
A17	CARETAKER'S QUARTERS

PROJECT NO. 2024-001

3 BEDRM, 1 1/2 BATH HOME  
LOT #20 RIVERS CROSSINGS, MCALL, ID

SCALE: SEE PLAN

INITIAL DATE: 12/8/2023  
PRINT DATE: 4/19/2024

ELEVATIONS

LICENSED ARCHITECT  
J. J. [Signature]  
DATE: 5-14-2024  
BOOK NO. 2024-001

SHEET NUMBER  
**A13**  
PAGE 1 OF 16



REAR ELEVATION 1/4" = 1'-0"



LEFT ELEVATION 1/4" = 1'-0"

MODEL SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT	TYPE
1	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
2	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
3	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
4	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
5	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
6	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
7	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
8	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
9	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
10	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
11	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
12	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
13	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
14	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
15	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
16	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
17	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
18	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
19	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD
20	1/2" x 4" x 8" S.P.F.	1100	LF	CLAD

HEIGHT SCHEDULE

ITEM	DESCRIPTION	HEIGHT	TYPE
1	1/2" x 4" x 8" S.P.F.	1100	CLAD
2	1/2" x 4" x 8" S.P.F.	1100	CLAD
3	1/2" x 4" x 8" S.P.F.	1100	CLAD
4	1/2" x 4" x 8" S.P.F.	1100	CLAD
5	1/2" x 4" x 8" S.P.F.	1100	CLAD
6	1/2" x 4" x 8" S.P.F.	1100	CLAD
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8	1/2" x 4" x 8" S.P.F.	1100	CLAD
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10	1/2" x 4" x 8" S.P.F.	1100	CLAD
11	1/2" x 4" x 8" S.P.F.	1100	CLAD
12	1/2" x 4" x 8" S.P.F.	1100	CLAD
13	1/2" x 4" x 8" S.P.F.	1100	CLAD
14	1/2" x 4" x 8" S.P.F.	1100	CLAD
15	1/2" x 4" x 8" S.P.F.	1100	CLAD
16	1/2" x 4" x 8" S.P.F.	1100	CLAD
17	1/2" x 4" x 8" S.P.F.	1100	CLAD
18	1/2" x 4" x 8" S.P.F.	1100	CLAD
19	1/2" x 4" x 8" S.P.F.	1100	CLAD
20	1/2" x 4" x 8" S.P.F.	1100	CLAD

SHEET INDEX

PAGE	TITLE
A1	COVER SHEET
A2	SITE PLAN
A3	LANDSCAPE PLAN
A4	FLOOR PLAN - 1ST LEVEL
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A8	FLOOR FRAMING
A9	ROOF LAYOUT - 1ST LEVEL
A10	SECTION VIEWS
A11	SECTION VIEWS
A12	ELEVATIONS
A13	ELEVATIONS
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E1	ELECTRICAL
A15	CARETAKER'S QUARTERS
A16	CARETAKER'S QUARTERS
A17	CARETAKER'S QUARTERS

3 DECK, 1 1/2 BATH HOME  
 LOT #20 RIVERS CROSSING, MC CALL, ID  
 SCALE: SEE PLAN  
 INITIAL DATE: 12/6/2012  
 REVISION DATE: 4/10/2013  
 ELEVATIONS  
 SHEET NUMBER: A14  
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January 17, 2018

To Whom It May Concern,

My name is Samuel Thompson and I am writing in response to the recent vacancy announcement in the McCall Planning & Zoning Commission. I wish to be considered for this seat.

I have lived in Valley County for over 6 years, the last 4 years living within the city limits. I live with my wife Lindsey and our 9-month-old daughter in our home. I work for the Forest Service as a civil engineer while my wife works part-time as an online Chinese teacher while staying at home with our baby. I also have my professional engineering license.

I often attend the planning and zoning meetings; it is always interesting and exciting to hear about the various projects. If I'm not able to make the meeting, I read the meeting packet so I can still follow the progression of these projects. I have always loved the process of construction and seeing new ideas and projects come to life. My interests in construction lead me to pursue my engineering degree.

My wife and I have loved living in McCall and are seeking ways that we can support this great community. I love the Comprehensive Plan's Vision Statement that "McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable." I want to do my part to contribute to that vision.

Thank you for considering me for a seat on the planning and zoning commission.

Sincerely,

Samuel Thompson, PE

## Morgan Bessaw

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**From:** Robert Lyons >  
**Sent:** Friday, January 12, 2018 2:39 PM  
**To:** Morgan Bessaw  
**Subject:** Letter of Interest for Planning & Zoning Position

Hi Morgan

I would like to submit this letter of consideration to be appointed to the McCall Planning & Zoning Committee.

Hello McCall City Council and Planning & Zoning Commission

I was born and raised in McCall and have seen over the years the variety growth and development of the entire area. I also experience other cities issues and concerns in Oregon while I lived there before moving back home to McCall. I have been back to McCall now for over 24+ years, I worked in the beverage industry as well as owning my own Restaurant here in McCall.

For the past 17 years I have been a full time Real Estate agent in McCall, during that time I have personally worked on several developments in McCall as well as helped many individual citizens with a variety applications that have went before the Planning & Zoning as well as the City Council for final approvals.

I feel that I have a good working knowledge of the city's code as well at many of the other issues that the Planning & Zoning has and will be working on in the future.

I also have a very good knowledge of the city in general, all the roads, open areas, development potential areas, run off areas, snow storage, city owned property, you name it around the city I am either very familiar or at least somewhat familiar with it.

In the past I have also worked in the building industry so I am very familiar with every phase of construction as well as types of construction material, which I feel would be helpful with many of the applications that will be presented to the commission.

I look forward working with the other members of the Planning & Zoning commission as well as City staff in helping McCall as our area continues to grow in the future.

I am available anytime for any questions you may have for me.

Thanks,  
Robert Lyons

McCall, Id. 83638



## Morgan Bessaw

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**From:** BessieJo Wagner  
**Sent:** Monday, January 22, 2018 8:42 AM  
**To:** Morgan Bessaw  
**Subject:** FW: P&Z Commission

BessieJo Wagner | Interim City Manager, City Clerk  
216 E Park Street | McCall | ID 83638  
Direct: 208.634.1003 | Fax: 208.634.3038



Web: [www.mccall.id.us](http://www.mccall.id.us)  
Blog: [cityofmccall.wordpress.com](http://cityofmccall.wordpress.com)  
Social: [Facebook.com/cityofmccall](https://www.facebook.com/cityofmccall)

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**From:** lynn cromar  
**Sent:** Friday, January 19, 2018 9:04 PM  
**To:** BessieJo Wagner <[bwagner@mccall.id.us](mailto:bwagner@mccall.id.us)>  
**Subject:** P&Z Commission

My name is Lynn Cromar. I've been a resident of McCall since 2004. I grew up in Mtn. Home ID. Studied Mech. Engr. at U of I for three years before deciding I couldn't work in an office. I started roofing for myself in Sun Valley ID in the late '80's. Moved to McCall when Tamarack took off. I own property at McCall. Also an acre on Elo Rd. and a half acre on Cameron Ln. in Donnelly. I saw the growth of Ketchum and the mistakes that were made there. I think I have a good understanding of this job and would like to offer my services. Thank you for your consideration. Lynn Cromar