

McCALL AREA PLANNING AND ZONING COMMISSION

Meeting Agenda

December 3, 2024 – 4:30 p.m.

McCall City Hall – Lower Level & MS Teams Teleconference
216 E Park St, McCall, ID 83638

This meeting will be a hybrid, in-person and virtual meeting. Use a phone to call 208-634-8900, when prompted enter **Conference ID 142 151 976#**. If there are any questions, contact Meredith Todd, City & Sustainability Planner (mtodd@mccall.id.us). The Commission Members and staff who are anticipated to be in attendance is 8.

American with Disabilities Act Notice: The Planning & Zoning Meeting room is accessible to persons with disabilities. If you need assistance, please contact City Hall at 634-7142 at least 48 hours prior to the meeting. Planning & Zoning Meetings are available for in-person and virtual attendance.

MEETING – Begins at 4:30 p.m.

CALL TO ORDER AND ROLL CALL – Commissioners Robert Lyons (Chair), Dave Petty, Liz Rock, Tony Moss, Tom Mihilfeith, Dana Paugh, Samuel Thompson.

1. REVIEW & APPROVAL OF MINUTES & HOUSEKEEPING

- **August 21, 2024 – P&Z – Special Meeting Agenda**
- **September 10, 2024 P&Z Minutes**
- **October 1, 2024 P&Z Minutes**
- **November 5, 2024 P&Z Minutes**
- **2025 Meeting Calendar Review & Adoption**

2. PRELIMINARY DEVELOPMENT PLAN REVIEW MEETINGS

3. CONSENT AGENDA

All matters which are listed within the consent section of the agenda have been distributed to each member of the McCall Area Planning and Zoning Commission for reading and study. The items listed are considered routine by the Commission and will be enacted with one motion unless a commissioner specifically requests it to be removed from the Consent Agenda to be considered separately. Staff recommends approval of the following ACTION ITEMS:

ROS-24-10 (ACTION ITEM)

1679 Crescent Ln – Thomas Flanagan

A Record of Survey application to combine 4 lots of record into a singular lot of record totaling approximately 18,084 square feet. The properties are zoned R4 – Low Density Residential and is more particularly described as:

Lots 26,27,28 & 28 Group C of the Payette Lake Club situate in the N ½ of the SE ¼ of T18N, R3E, B.M., Valley County, Idaho.

4. OLD BUSINESS

5. NEW BUSINESS

SUB-24-06 (ACTION ITEM) – CONTINUE to February 4, 2025 P&Z Meeting

Alpine Storage Condominiums - TBD 450 S Samson Trail - Jeff Hatch for Echanis Storage

An application for a Subdivision Preliminary Plat to Condominiumize units associated with an PUD, CUP, DR and SR currently in the land use application process. The property is zone CC – Community Commercial and is more particularly described as:

Tax No. 184, situate in the SE ¼ of the SE ¼ of Section 16, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

DR-24-23, SH-24-10, SR-24-08 (ACTION ITEM) – CONTINUE to January 7, 2025 P&Z Meeting

2139 Eastside Drive – Pivot North Architecture for Kip Wadsworth

An application for Design Review, Shoreline Review and Scenic Route Review to construct an 8,501 square foot new Single-family residence with attached garage. The property is zoned R4 – Low Density Residential and is more particularly described as:

Lot 16 of the Harris Cove Subdivision situate in the SW ¼ of Section 35, T19N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

DR-24-24, SH-24-12 (ACTION ITEM)

962 Wagon Wheel Rd – Doug Wilkinson of Hawk Inc for Michael Thomas

An application for Design Review and Shoreline Review to construct a 5388 square feet residence including approximately, 4,000 square feet of residence, 800 square feet of attached garage, and covered exterior patio space adjacent to Payette Lake. The property is zoned R4 – Low Density Residential and is more particularly described as:

Lot 146 of the Amended Payette Lake Cottage Sites situate in the N ½ of Section 33, T19N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

DR-24-25, SH-24-11 (ACTION ITEM)

2191 Lakeview Avenue – John Lowe for Lowe Lakeview LLC

An application for Design Review and Shoreline Review to construct a 424 square foot addition to an existing residence, adjacent to Payette Lake. The property is zoned R4 – Low Density Residential and is more particularly described as:

Lot 3 of the Harris Cove Subdivision situate in the S½ of Section 35, T19N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

6. OTHER

- **Signs approved administratively:**
 - **Bonsack Gallery**
- **Upcoming Meeting Agenda – January 7th, 2024 –**
 - **New Items:**
 - PUD-24-03 Hospital Employee Townhomes
 - ROS-24-12 398 Whitetail Dr – Lot Combo

ROS-24-13 606 & 60 Lenora St – Lot Combo
SUB-24-05 Forest St Subdivision

7. ADJOURNMENT

McCALL AREA
PLANNING AND ZONING COMMISSION
Special Meeting Minutes
August 21, 2024 – 4:30 p.m.
McCall City Hall – Lower Level & MStTeams Teleconference
216 E Park St, McCall, ID 83638

MEETING – Began 4:30 p.m.

CALL TO ORDER AND ROLL CALL – Commissioners Robert Lyons (Chair), Dave Petty, ~~Ryan Kinzer~~, Liz Rock, Tony Moss, Tom Mihalfeith, ~~Dana Paugh~~, Brian Parker (City Planner), Meredith Todd (Assistant Planner), Morgan Stroud (Staff Engineer), Michelle Groenevelt (CED Director), and Bill Nichols (City Attorney) were also present.

1. REVIEW & APPROVAL OF MINUTES & HOUSEKEEPING

None, Special Meeting

2. PRELIMINARY DEVELOPMENT PLAN REVIEW MEETINGS

None, Special Meeting

3. CONSENT AGENDA

All matters which are listed within the consent section of the agenda have been distributed to each member of the McCall Area Planning and Zoning Commission for reading and study. Items listed are considered routine by the Commission and will be enacted with one motion unless a commissioner specifically requests it to be removed from the Consent Agenda to be considered separately. Staff recommends approval of the following ACTION ITEMS:

Findings of Fact & Conclusions of Law from August 6, 2024 P&Z Commission Agenda

VAC-24-01 & ROS-24-05 (ACTION ITEM)

1095 & 1091 Swanie Way – Dan Murrer

An application for a Record of Survey and Vacation to vacate an existing drainage easement and combine the two lots of record in preparation for development. The property is zoned R4 – Low Density Residential, and is more particularly described as:

Lots 77 and 78 of Block 4 of the Lick Creek Meadows Subdivision, situate in the SE ¼ of Section 3, T18N, R3E, B.M., City of McCall, Idaho

SUB-24-03 (ACTION ITEM)

McCall Art & Commerce Center Condominiums - 115, 121, 125 Commerce St. – David Armstrong

An application to condominiumize the existing commercial structures located within the McCall Art and Commerce Center. The property is zoned I – Industrial, and is more particularly described as:

Lots 5 and 6, Payette Lakes Commercial Center, situate in the NW ¼ of Section 16, T18N, R3E, B.M., City of McCall, Idaho

DR-24-14 & SH-24-08 (ACTION ITEM)

502 Garnet St – LeGrand Bennett for Terry Papé

An Application for Design Review and Shoreline Review to construct multiple additions on an existing single-family residence. Additions to the existing single-family residence of 1,529 square feet include: 399 square feet of kitchen space, 84 square feet of covered deck, 399 square feet of upper level living space, and a shed roof dormer over existing living space. The property is zoned R4 – Low Density Residential, is located along the Shoreline of Payette Lake and is more particularly described as:

McCall Acreage Tax No. 23 in Government Lot 3, situate in Section 4, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

DR-24-15 (ACTION ITEM)

400 Deinhard Ln – Glenn Walker for Jason Moore of Builder’s First Source

An Application for Design Review to construct a new materials storage building totaling 5,400 square feet to accompany existing facilities on site. The property is zoned CC – Community Commercial, and is more particularly described as:

McCall Acreage Tax No. 52, situate in the NE ¼ of the NE ¼ of the SW ¼; and part of Tax No. 64, situate in the NW ¼ of the NW ¼ of the SW ¼ of Section 16, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

DR-24-19 (ACTION ITEM) – IMPACT AREA

TBD Elo Rd – Zach & Savannah Callister

An Application for Design Review to construct a new single-family residence of 9,141 square feet in structure size including an attached garage and covered porches and patios. The property is zoned R1 – Residential 1 Acre, and is more particularly described as:

Tax No’s 9 & 10, situate in the SW ¼ of the NE ¼ of Section 22, T18N, R3E, B.M., Valley County, Idaho.

Commissioner Moss moved to approve the consent agenda, Mihlfeith seconded. Unanimous.

4. OLD BUSINESS

None, Special Meeting

5. NEW BUSINESS

DR-24-17 & SH-24-09 (ACTION ITEM)

493 Cammy Ln – James Gipson for Cari & Rob Meyers

An Application for Design Review and Shoreline Review to construct a new accessory garage and breezeway, reconstruct an existing, non-conforming deck, and convert existing garage space to living space for a property with an existing single-family residence. The total square footage of new construction would add 2,601 square feet of space to the property. The property is zoned R4 – Low Density Residential, is located along the Shoreline of North Fork Payette River, and is more particularly described as:

Lots 26 and 27 of the Rio Vista Subdivision No. 1, situate in the SW ¼ of Section 8, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

PUBLIC HEARING

Chairman Lyons opened the public hearing, Commissioner Moss seconded. Unanimous.

James Gipson of Eagle, Idaho, project architect, presented the application reviewing the original date of construction in the 1980s, prior to the adoption of the Shoreline Environs Overlay. The property is two, previously combined shoreline lots along the North Fork of the Payette River. The project will add an accessory garage to a new building, then convert existing garage space into additional livable space in the existing home. Other work includes reconstruction of an old, non-conforming deck and section of the house within the 50-foot shoreline setback. Commissioners asked whether any new elements were proposed in the 50-foot setback, and only repair would be conducted below the 50-foot setback.

Mr. Parker presented the staff report and mentioned the two planning concerns at this time are the setback non-conformities within the shoreline and the interior side lot-line. To meet the requirements of the repair-to-non-conformity guideline, a cost estimate will need to be submitted showing the cost of repair would not exceed 10% of the cost of complete new construction. Ms. Stroud presented the engineering review and mentioned that water meter-sizing and some minor driveway design questions remained in need of address, but the project will meet requirements with tweaks.

Chairman Lyons called for public testimony and received none

Commissioner Petty asked for clarification on the inclusion of a “Phase 1” in the application, which was an informal use of the word, rather than the traditional idea of a longer-term phasing plan.

Chairman Lyons moved to close the public hearing. Moss seconded. Unanimous.

Commissioner Mihlfeith moved to approve DR-24-17 & SH-24-09. Commissioner Moss seconded. Unanimous.

PUD-24-02, SUB-24-04, DR-24-18 & DA-24-01 (ACTION ITEM)

Dawson Trails Subdivision – Nick Louie & Steve Millemann for HT McCall, LLC

An Application for a Planned Unit Development Preliminary Plan, Subdivision Preliminary Plat, Design Review and Development Agreement to construct nine (9) detached single-family residences, and 20 duplex-style townhomes in 10 buildings. The project proposes four (4) units to be Deed Restricted Local Housing Units, and proposes to prohibit Short-Terms Rentals within the full development. The property is located in the R8 – Medium Density Residential Zone, and is more particularly described as:

Parcels A of Block 22 and Parcels A & B of Block 23 & 24 of the Amended Plat of McCall’s First Addition, situate in the N ½ of Section 9, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

PUBLIC HEARING

Chairman Lyons opened the public hearing and moved to continue to September 10, 2024. Commissioner Mihlfeith seconded. Unanimous.

DR-24-13 & SR-24-07 (ACTION ITEM) IMPACT AREA

1175 S Samson Trail - LeGrand Bennett for Tom & Kim Mihlfeith

An Application for Design Review and Scenic Route Review to construct multiple additions on an existing single-family residence. Additions to the existing 2,195 square foot home will include: 700 square feet of living space, an 87 square foot covered entry, 265 square foot wood storage area, and 466 square foot carport for a total structure size of 4,548 square feet. The property is zoned RE (Residential Estate – 1 dwelling per 5 Acres), is located along the South Samson Trail Scenic Route, and is more particularly described as:

Part of Amended Tax No. 55, situate in the SW ¼ of the SW ¼ of Section 22, T18N, R3E, B.M.,
Valley County, Idaho

PUBLIC HEARING

Commissioner Mihlfeith recused himself from review and deliberation on the item as it is his own property.

Commissioner Lyons opened the public hearing. Commissioner Petty seconded. Unanimous.

LeGrand Bennett presented the application and asked for clarification on how the new Findings and Conclusions process worked. Staff explained that the approval document now gets produced for signature the following month to allow proper review of minutes and facts established during the review process, applicants don't have to do anything additional. He proceeded with the presentation and reviewed the property, existing home, and proposed additions along the scenic route property. The additions remain below the lot coverage limits and do not create non-conformities. Disturbance to existing landscape should be minimal, isolated to a couple of aspen trees that can be replaced without trouble.

Mr. Parker presented the staff report and indicated the project for a series of small additions fits well with the existing structure, and honors the existing style well. Conditions included at this point are to meet snow storage and landscaping requirements. Ms. Stroud indicated that final engineering approval had already been issued so she has no concerns with the application.

Chairman Lyons opened and closed the public comment period with no comments from the public.

Commissioner Petty moved to approve DR-24-13 & SR-24-07. Commissioner Moss seconded. Unanimous. (Mihlfeith Recused)

DR-24-16 (ACTION ITEM) – IMPACT AREA

91 Sundance Dr – Carrie Potter of Pinetop Custom Homes for the Foster Family

An Application for Design Review to construct a new single-family residence and detached garage of 6,162 square feet and 1,472 square feet, respectively. The property is zoned R1 – Residential 1 Acre, and is more particularly described as:

Lot 12 of Block 1 of Phase 1 the First Amended White Cloud Subdivision, situate in the SW ¼ of Section 19, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Chairman Lyons moved to open the public hearing. Commissioner Moss seconded. Unanimous.

Carrie Potter of Pinetop Custom Homes at 112 N 3rd St presented the Foster's application for Design Review. The 6,000 square foot home and 1,400 square foot garage have been approved by the White Cloud HOA, the Stormwater report has been submitted for review, and the county approach permit has been received. Commissioners confirmed that the building could be moved to meet the setbacks, and that other conditions should be simple to meet.

Mr. Parker presented the staff report and confirmed that Ms. Potter's presentation was accurate, with the only challenge needing to be met requiring a shift of the building siting to meet setback

requirements. Ms. Stroud presented the engineering report and mentioned she is in the second round of engineering review and is moving along well.

Chairman Lyons called for public testimony and received none.

Chairman Lyons moved to close the public hearing. Commissioner Moss seconded. Unanimous.

Commissioner Rock moved to approve DR-24-16. Commissioner Muhlfeith seconded. Unanimous.

~~DR-24-17 & SH-24-09 (ACTION ITEM)~~

~~493 Cammy Ln – James Gipson for Cari & Rob Meyers~~

~~An Application for Design Review and Shoreline Review to construct a new accessory garage and breezeway, reconstruct an existing, non-conforming deck, and convert existing garage space to living space for a property with an existing single family residence. The total square footage of new construction would add 2,601 square feet of space to the property. The property is zoned R4 – Low Density Residential, is located along the Shoreline of North Fork Payette River, and is more particularly described as:~~

~~Lots 26 and 27 of the Rio Vista Subdivision No. 1, situate in the SW ¼ of Section 8, T18N, R3E, B.M., City of McCall, Valley County, Idaho.~~

PUBLIC HEARING

THIS APPLICATION WAS REVIEWED AT THE TOP OF THE NEW BUSINESS AGENDA AT THE REQUEST OF THE CHAIRMAN

6. OTHER

- **Recommendation on the Appointment of a Planning & Zoning Commissioner (ACTION ITEM)**

Chairman Lyons recused himself for review of himself. Commissioner Rock became the acting chair for discussion. Commissioners reviewed the Letters of Interest for the seat, with Mr. Greene and Mr. Lazenby absent, Commissioners wanted to know more information about the parties and felt as though they could be good candidates.

Mr. Lyons presented his experience and continued interest in serving on the Planning & Zoning Commission and his qualifications based on previous experience and has a passion for continued current and long-range planning in McCall. He emphasized his perfect attendance record and the extent of his care for continuing the process of decision making in McCall.

Commissioners discussed that the value of keeping Mr. Lyons on the Commission is quite high after his leadership and history in the community. Commissioner Moss moved to recommend re-appointment of Robert Lyons as a City Representative to the MCC. Commissioner Muhlfeith seconded.

- **Upcoming Meeting Agenda – September 10, 2024 –**
 - **New Items:**
 1. DR-24-06/SH-24-05 – New Single-Family Residence on NF Payette River
 2. DR-24-21/SH-24-10 – New Single-Family Residence on Lake
 3. DR-24-22/SH-24-11 – New Single-Family Residence on Lake
 4. FP-24-01 – TBD Stockton – Yeshua Subdivision Final Plat

5. CUP-24-02 – Pilgrim Cove Camp Master Plan Update
6. ROS-24-06 – Lot Reconfiguration
7. ROS-24-07/VAC-24-02 – Lot Combo & Drainage Easement Vacation
8. ROS-24-08 – Lot Split

7. ADJOURNMENT

Commissioner Moss moved to adjourn, Commissioner Mihlfeith seconded. All commissioners voted aye and the meeting ended at 5:25pm

Signed:

Attest:

Robert Lyons, Chairman
McCall Area Planning and Zoning Commission

Meredith Todd
City & Sustainability Planner

McCALL AREA
PLANNING AND ZONING COMMISSION
Minutes
September 10, 2024 – 4:30 p.m.
McCall City Hall – Lower Level & MStTeams Teleconference
216 E Park St, McCall, ID 83638

MEETING – Began at 4:30 p.m.

CALL TO ORDER AND ROLL CALL – Commissioners Robert Lyons (Chair), Dave Petty, Ryan Kinzer, ~~Liz Rock~~, Tony Moss, ~~Tom Milfeith~~, Dana Paugh. Brian Parker (City Planner), Morgan Stroud (Staff Engineer), Meredith Todd (Assistant Planner), and Bill Punkoney (City Attorney) were also present.

1. REVIEW & APPROVAL OF MINUTES & HOUSEKEEPING

Chairman Lyons moved to remove commissioner appointments and sign reviews off the agenda. Commissioner Petty seconded.

- July 30, 2024 P&Z Minutes
- August 6, 2024 P&Z Minutes

Commissioner Moss moved to approve the minutes, Commissioner Petty seconded. Unanimous.

2. PRELIMINARY DEVELOPMENT PLAN REVIEW MEETINGS

Pre-App-24-08 - State Park Annexation

1920 Davis Ave – KM Engineering for Idaho Department of Parks & Recreation

A Preliminary Development Plan Review Application to Annex a portion of the Ponderosa State Park property currently outside of City Limits in order to provide water service to the Kokanee Cove Camp Ground. The Property is zoned RE – Rural Estate and is more particularly described as:

Tax No. 10 in Government Lot 7, situate in Section 34, T19N, R3E, B.M., Valley County, Idaho.

Alyssa Yensen of KM Engineering and Adam Zaragovich of IDPR presented the preliminary development plan application for annexation of a segment of Ponderosa State Park to develop staff lodging and provide adequate fire protection to the Kokanee Cove project area. The Parks group has conducted the engineering work necessary to extend the waterline as well as installed the line but not finished the project just yet. Fortunately, the water service does not need to be turned on until the 2025 season. The sewer district has already been consulted and has no concerns.

Commissioners had questions about the existing park water service and mentioned that a solution regarding the funding that would not be received via taxes would be a question to consider.

3. CONSENT AGENDA

All matters which are listed within the consent section of the agenda have been distributed to each member of the McCall Area Planning and Zoning Commission for reading and study. Items listed are considered routine by the Commission and will be enacted with one motion unless a commissioner specifically requests it to be removed from the Consent Agenda to be considered separately. Staff recommends approval of the following ACTION ITEMS:

ROS-24-08 (ACTION ITEM) – IMPACT AREA

TBD Krahn Ln – Arrow Tallman for Casey Fitzgerald

An Application for a Record of Survey to split an existing lot of record of 1.996 acres into two (2) new lots of 0.998 acres, each. The properties will also extend Krahn Ln via an easement for a future half-street to provide street frontage to the currently land locked easterly portion of the property. The property is zoned R1 – Residential 1 Acre, and is more particularly described as:

Tax No 78 in a portion of Lot 6 of Block 1 of the West Place Subdivision, situate in the NW ¼ of Section 22, T18N, R3E, B.M, Valley County, Idaho.

DR-23-05 & SR-23- (ACTION ITEM)

120 E Lake St – Ryan Johnson – Extension of Time Request

A request for a 6 month extension of Design Review and Shoreline Environs Review approval to construct a new single-family residence totaling 4,500 square feet including attached garage, basement, 2 floors of living area and a loft. The property is zoned R16 – High Density Residential, is located along the Lake St/State Highway 55 Scenic Route, and is more particularly described as:

Lot 12 of Block 1 of the Amended Williams-Mayfield Addition lying in Government Lot 4, situate in Section 9, T18N, R3E, B.M., City of McCall, Idaho

DR-22-27 & SH-22-05 - (ACTION ITEM)

1410 Mill Rd – Correction of Scrivener’s Error in Findings of Fact

A request to correct the approved Findings of Fact & Conclusions of Law regarding the renovation of an existing building in the Central Business District, to reflect motion by commission to amend condition #3 in specifying an amount for applicant to place in escrow of \$28,000. The property is zoned CBD – Central Business District; is located within the Shoreline Zone of Payette Lake; is within the Railroad Avenue Urban Renewal District (Sunset in 2022) and is more particularly described as:

Lots 7-10 of Block 5 of McCall’s First Addition, situate in Section 9, T18N, R3E, B.M., City of McCall , Valley County, Idaho.

Findings of Fact & Conclusions of Law from July 30, 2024 & August 21, 2024 P&Z Commission Agenda

PUD-22-04, CUP-22-04, DR-22-06, and SR-22-04 (ACTION ITEM)

TBD-Elo Rd: Hatch Design for CW Hurless of Stor-It, LLC

Jeff Hatch & Steve Theissen of Hatch Design for STOR-IT LLC: An application for a Planned Unit Development Preliminary Plan a Conditional Use Permit, Design Review, and Scenic Route Review to expand the operations of the STOR-IT facility located on the adjacent parcel and add multiple buildings offering additional storage units varying in size on a property totaling 10.04 Acres or 437,545 square feet. The property is zoned RE – Rural Estate, and is more particularly described as:

Situate in the NE ¼ of the NE ¼ of the SE ¼, less Deeded County Rd R-O-W in Section 21, T18N, R3E, B.M., Valley County, Idaho.

DR-24-13 & SR-24-07 (ACTION ITEM) IMPACT AREA

1175 S Samson Trail - LeGrand Bennett for Tom & Kim Mihlfeith

An Application for Design Review and Scenic Route Review to construct multiple additions on an existing single-family residence. Additions to the existing 2,195 square foot home will include: 700 square feet of living space, an 87 square foot covered entry, 265 square foot wood storage area, and 466 square foot carport for a total structure size of 4,548 square feet. The property is zoned RE

(Residential Estate – 1 dwelling per 5 Acres), is located along the South Samson Trail Scenic Route, and is more particularly described as:

Part of Amended Tax No. 55, situate in the SW ¼ of the SW ¼ of Section 22, T18N, R3E, B.M., Valley County, Idaho

DR-24-16 (ACTION ITEM) – IMPACT AREA

91 Sundance Dr – Carrie Potter of Pinetop Custom Homes for the Foster Family

An Application for Design Review to construct a new single-family residence and detached garage of 6,162 square feet and 1,472 square feet, respectively. The property is zoned R1 – Residential 1 Acre, and is more particularly described as:

Lot 12 of Block 1 of Phase 1 the First Amended White Cloud Subdivision, situate in the SW ¼ of Section 19, T18N, R3E, B.M., Valley County, Idaho.

DR-24-17 & SH-24-09 (ACTION ITEM)

493 Cammy Ln – James Gipson for Cari & Rob Meyers

An Application for Design Review and Shoreline Review to construct a new accessory garage and breezeway, reconstruct an existing, non-conforming deck, and convert existing garage space to living space for a property with an existing single-family residence. The total square footage of new construction would add 2,601 square feet of space to the property. The property is zoned R4 – Low Density Residential, is located along the Shoreline of North Fork Payette River, and is more particularly described as:

Lots 26 and 27 of the Rio Vista Subdivision No. 1, situate in the SW ¼ of Section 8, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

PUD-23-04, SUB-23-03 (ACTION ITEM)

500 1st Street – Rick Williams for CGC McCall, LLC

An application for Planned Unit Development and Subdivision to create a 47-unit single-family and townhome subdivision on approximately 5.97 acres. The property is zoned R8– Medium Density Residential, and is more particularly described as:

McCall Acreage tax no's 409 and 410, situate in the SW ¼ of the S ¼ of Section 9, T18N, R3E, B.M., City of McCall, Idaho

Commissioner Moss moved to approve the consent agenda, Commissioner Kinzer seconded. Unanimous.

4. OLD BUSINESS

PUD-24-02, SUB-24-04, DR-24-18 & DA-24-01 (ACTION ITEM) - CONTINUE

Dawson Trails Subdivision – Nick Louie & Steve Millemann for HT McCall, LLC

An Application for a Planned Unit Development Preliminary Plan, Subdivision Preliminary Plat, Design Review and Development Agreement to construct nine (9) detached single-family residences, and 20 duplex-style townhomes in 10 buildings. The project proposes four (4) units to be Deed Restricted Local Housing Units, and proposes to prohibit Short-Terms Rentals within the full development. The property is located in the R8 – Medium Density Residential Zone, and is more particularly described as:

Parcels A of Block 22 and Parcels A & B of Block 23 & 24 of the Amended Plat of McCall's First Addition, situate in the N ½ of Section 9, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

PUBLIC HEARING

*Chairman Lyons moved to open the public hearing. Commissioner Petty seconded. Unanimous.
Chairman Lyons moved to continue the application and public hearing to October 1, 2024. Commissioner Moss seconded. Unanimous.*

5. NEW BUSINESS

CUP-24-02 (ACTION ITEM) – IMPACT AREA

Pilgrim Cove Campus Master Plan Update

A Preliminary Development Plan Review Application for an updated Conditional Use Permit to account for updates to the Camp Master Plan. The property is zoned R4 – Low Density Residential, and is more particularly described as:

Lots 1-32 and Common Areas A & B of the Glen Cove Subdivision and Pilgrim Cove Subdivision
Lots 1-3 of Block 1, situate in Sections 2 and 3, T18N, R3E, B.M., Valley County, Idaho

PUBLIC HEARING

Chairman Lyons moved to open the public hearing. Petty seconded. Unanimous.

Jeremy Force (ED of Pilgrim Cove) and Allan Busch of 505 S Philippi Street in Boise presented the application to update the Pilgrim Cove Campus Master Plan to better accommodate the uses of the site, as well as adapt to the evolving role of camp facilities in providing space for family retreats, weddings, and others. Commissioners had questions about the sewer access of the camp and whether the expansion would be adequately served. Mr. Force and Mr. Busch are confident adequate service will be available. Commissioners also asked questions about noise control strategies given concerns expressed about the future pavilion. The applicants stated they currently overeducate and follow-up continually with camp users when they visit. Regarding the pavilion on the Western property area, the applicants feel there isn't concern with noise crossing to neighboring properties as they typically don't allow loud music outside.

Mr. Parker provided the staff report mentioning that the previous Master Plan was adopted in 2003 and had generally been accomplished. Camps require a Conditional Use Permit in the R4 Zone, where the property is located, and reviewed the applicable criteria of approval for the commission. Additional requirements apply to camps to protect the enjoyment of neighboring properties from special activities typically conducted at camps. Commissioners asked to review the location of the proposed Pavilion in more depth to determine whether its siting would be of concern or particular nuisance. Mr. Parker explained that this Conditional Use Permit would be the time to navigate concerns with any siting of buildings that might generate noise or be located in the shoreline on the plan, rather than defer that to the Design Review process later.

Ms. Stroud presented the engineering report and mentioned the Engineering Review is still in progress given the size of the site and scope of the stormwater report. She did have a question about the methodology for conducting the traffic analysis, so further context from applicants on this would be helpful. In general she is confident it should be able to meet engineering requirements with a few revisions.

Chairman Lyons called for public testimony.

Lance Salladay of 1085 Plymouth Cove Rd spoke with concern about traffic relating to the camp that is already frustrating with the volume occurring on the shared road maintained by the

neighborhood. The camp does not help maintain the road at this time. There is also frequent speeding by camp users and staff at 35-40 miles per hour on an area designated as 15 miles per hour. An additional access road for the camp via Miles Standish Rd that can move the volume would be appreciated. Noise is also an issue including music, as well as late night games that consistently run beyond the noise cutoff time of 10:00pm.

Susie Smith of 1076 Plymouth Rd spoke with concern about the volume of traffic and the lack of road facilities, parking facilities, dust abatement, or consideration for neighborhood residents. She also finds the RV hookups and access to them inappropriate and creates noise. Weddings also create a lot of noise, even if they may be happening less. She does appreciate the camp, but wants it to be expanding with mindfulness for the neighborhood in consideration.

Judy Leister of 1073 Plymouth Rd provided a site map and mentioned she does not oppose the expansion in general, but would like to see some revisions to improve impact to her property, next door to the west, including relocation of the RV spaces, Cabins, and especially the proposed Pavilion that is shown too close to her home for reasonable noise separation or general buffering (see attachments). She would like to see these spaces, especially the pavilion, nearer the interior of the property.

Joe Pierson of 1087 Plymouth Rd spoke with concerns about traffic speed and volume and the way noise already carries, including the sound of people even walking and running around at night playing late games in large numbers. Dust abatement is also a problem due to the number of single-occupancy vehicles for visitors who don't carpool.

Chairman Lyons closed the public testimony.

Mr. Force and Mr. Busch spoke in response the comments they heard being 1) traffic related, 2) noise 3) the pavilion location. Mr. Force thinks he could address traffic concerns with better messaging in the booking process and well as employee discussions. Regarding noise, he thinks he can provide better notice during group orientation. With the Pavilion, the goal is to be a small, 20x20 lunch structure/shelter and boat rack shelter in the winter, rather than an events pavilion. The RV spaces in their current locations would mostly become parking spaces, with RV pad sites being reduced to 2 spaces.

Commissioners asked whether the pavilion could be moved to another location to address neighbors concerns. Mr. Force said to some degree that was possible, to increase the setback to 50 feet, and potentially turn the pavilion but it would need to be near the bear/swimming area. Commissioners would like to see adjustments to the site plan reflecting the details of structures, greater setback to address neighbor concerns, an attempt made to address traffic issues like speed that have been expressed by neighbors, and an internal policy or plan around noise-level compliance would be helpful. Commissioners would also like the pavilion structure to have complete walls on the sides facing the Plymouth Rd neighbors.

Commissioner Moss moved to continue CUP-24-02 to November 5, 2024 to address staff concerns. Commissioner Paugh seconded. Unanimous.

FP-24-01 (ACTION ITEM) – IMPACT AREA

TBD Stockton Dr – Yeshua Subdivision – Jesse Christensen for De La Rosa & Torres Families

An Application for Final Subdivision Plat to split an existing 2.37 acre lot into two new lots for homes with wells and septic. The property is zoned R1 – Residential 1-Acre and is more particularly described as:

Tax No 64 in Lot 16 of Block 1 of the West Place Subdivision, situate in the SW ¼ of Section 16, T18N, R3E, B.M., Valley County, Idaho.

Not a Public Hearing

Mr. Christensen was absent at the time of the item. Item was forwarded to the end of the agenda to see if he could be brought back. The item was reviewed after DR-24-21.

Mr. Christensen presented the application for the Final Plat of Yeshua Subdivision and indicated the applicants were excited to get going on their homes following completion of the Final Plat process. The stormwater, septic, and water considerations for the site have been addressed.

Mr. Parker presented the staff report mentioning the nuance to the application that would typically go through a Record of Survey, but came about due to previous subdivision processes. The application meets standards. Ms. Stroud agreed that all the hard work is complete, and final engineering approval is already granted.

Commissioner Petty recommended approval of FP-24-01 to the Board of County Commissioners. Commissioner Moss seconded. Unanimous.

DR-24-06, SH-24-05 (ACTION ITEM)

489 Cammy Lane – Chrysalis Architecture for the Fernand Family

An application Design Review and Shoreline Environs Review to demolish an existing residence and construct a new, single-family, single-story residence with a structure size of approximately 3,500 square feet including a covered deck and attached garage. The property is zoned R4 – Low Density Residential, is located in the Shoreline Environs Overlay Zone of the North Fork Payette River and is more particularly described as:

Lot 33 of the Rio Vista Subdivision No.1, situated in Section 8 with a portion in Section 17, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

PUBLIC HEARING

Chairman Lyons moved to open the public hearing. Commissioner Petty seconded.

Richard Wilmot of Chrysalis Architecture presented the application to demolish and reconstruct a home along the North Fork Payette River. The applicant has worked closely with the Central Health District to create an adequate septage treatment on site, and noted that there is room to meet staff's comments in the setbacks for the site, so adjustments can be made prior to issuance of a building permit.

Mr. Parker confirmed that there is adequate space on site to address the conditions of approval and the application is not of great concern. Ms. Stroud indicated that the stormwater report had been reviewed and the property should meet engineering requirements without much trouble.

Chairman Lyons called for public testimony and no comments were received.

Commissioner Petty moved to approve DR-24-06 and SH-24-05, Commissioner Moss seconded, Unanimous.

DR-24-21 & SH-24-10 (ACTION ITEM) – IMPACT AREA

TBD Crescent Dr – Luke Vannoy of MDPI for the Gowland Family

An Application for Design Review and Shoreline Review to construct a new single-family residence of approximately 5,000 square feet, including deck and patio area on the Shoreline of Payette Lake. The property is located in the R4 – Low Density Residential Zone, is located in the Shoreline Environs Zone of Payette Lake, and is more particularly described as:

Tax Parcel No. 142 in Government Lot 1, situate in Section 5, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Chairman Lyons moved to open the Public Hearing. Commissioner Petty seconded.

Luke Vannoy of 1235 Meadows Rd presented the application for the Gowland residence on Crescent Dr on Payette Lake. The house would have 3,400 square feet of livable space, and a 600 square foot garage in addition to patio space. Mr. Vannoy reviewed the various design pages and the compliance of the structure with the dimensional standards.

Mr. Parker provided the staff report and indicated his snow storage comment had been addressed and he had no comments. Ms. Stroud commented that Final Engineering Approval had been granted already.

Chairman Lyons called for public comment and none was received.

Chairman Lyons moved to close the public hearing, Commissioner Moss seconded.

Commissioner Kinzer moved to approve DR-24-21, SH-24-10. Commissioner Paugh seconded. Unanimous.

DR-24-22 & SH-24-11 (ACTION ITEM) – IMPACT AREA

3741 Eastside Dr – Luke Vannoy of MDPI for the Eberle Family

An Application for Design Review and Shoreline Review to construct a new single-family residence to accompany an existing ADU/Shop structure, previously approved w/ ADU as "future residence" in CUP-17-06. The residence will total approximately 7,800 square feet in structure size. The property is zoned RR – Rural Residential, is located in the Shoreline Environs Zone of Payette Lake, and is more particularly described as:

Tax No. 4 in Government Lot 1, situate in the NW ¼ of the NE ¼ of Section 23, T19N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Chairman Lyons moved to open the public hearing. Commissioner Moss seconded. Unanimous.

Luke Vannoy of 1235 Meadows Rd presented the application for a new residence on Eastside Dr and mentioned that it is on Well and Septic that were installed following the CUP process in 2017. . Mr. Vannoy reviewed the various design pages and the compliance of the structure with the dimensional standards. Commissioners asked where the driveway snow would be stored and Mr. Vannoy showed the unique locations selected along the driveway.

Mr. Parker provided the staff report and indicated the application is the first known skywalk in the community, and snow storage has been accounted for. Ms. Stroud commented that Final Engineering Approval had been granted already.

Chairman Lyons called for Public Comment and none was received.

Commissioner Moss moved to approve DR-24-22 & SH-24-11, Commissioner Petty seconded. Unanimous.

6. OTHER

- **Upcoming Meeting Agenda – October 1, 2024 –**
 - **New Items:**
 1. ROS-24-06 – Lot Reconfiguration
 2. ROS-24-07/VAC-24-02 – Lot Combo & Drainage Easement Vacation
 3. SUB-24-02 – 350 Burns Rd
 4. FP-24-02 – Commerce St. Condominiums Final Plat

7. ADJOURNMENT

Commissioner Moss moved to adjourn. Commissioner Petty seconded. All commissioners voted aye and the meeting ended at 6:28pm.

Signed:

Attest:

Robert Lyons, Chairman
McCall Area Planning and Zoning Commission

Meredith Todd
City & Sustainability Planner

2025 McCall Area Planning and Zoning Commission Meeting Schedule and Application Deadlines



NOTICE: LEAD TIMES HAVE CHANGED. PLEASE REFER TO THE SCHEDULE ON THE FOLLOWING PAGES

In an effort to provide more consistency and an improved experience for the development community, the City of McCall has extended the time between the application submittal deadline and the next available public hearing by two (2) weeks. Generally, the process will be as follows:

- Applications will be required to be submitted eight (8) weeks prior to the McCall Area Planning & Zoning Commission meeting.
- Staff will review the application materials submitted and notify the applicant of any deficiencies before the end of that week.
- The applicant has one week to provide additional/revised application materials in order to remain on the same agenda.
- Staff will distribute the application materials for agency comment at least 30 days prior to the hearing.
- Three weeks prior to the hearing, staff will send public notice documents, a draft staff report, and engineering review.
- The applicant has one week to submit revisions based on the draft staff report.
- One week prior to the hearing, the final staff report and application materials will be published in the meeting packet.

The McCall Area Planning & Zoning Commission reviews all development applications within the City of McCall and McCall Impact Area. The following are the scheduled **2025 McCall Area Planning and Zoning Meeting Dates and associated deadlines:**

Record of Survey, Shoreline or River Environs, or Scenic Route Applications

Full Application Deadline	Meeting Date
November 12	January 7
December 10	February 4
January 7	March 4
February 4	April 1
March 11	May 6
April 8	June 3
May 6	July 1
June 10	August 5
July 15	September 9
August 12	October 7
September 9	November 4
October 7	December 2

For more information about the McCall Area Planning & Zoning Commission, please contact:

Meredith Todd
City & Sustainability Planner
216 East Park Street
McCall, ID 83638
mtodd@mccall.id.us
(208) 634-4168

Applications may be submitted through the online application portal at <https://mccallid.portal.iworq.net/portalhome/mccallid>.

Design Review and Subdivision Preliminary Plat Applications


Full Application Deadline	Public Notification Deadline (for City to provide materials to applicants)	Meeting Date
November 12	December 16	January 7
December 10	January 13	February 4
January 7	February 10	March 4
February 4	March 10	April 1
March 11	April 14	May 6
April 8	May 12	June 3
May 6	June 9	July 1
June 10	July 14	August 5
July 15	August 18	September 9
August 12	September 15	October 7
September 9	October 13	November 4
October 7	November 10	December 2

Conditional Use Permit, Preliminary Planned Unit Development, Subdivision Preliminary Plat, Variance, Rezone, Zoning Code Amendment, Annexation, and Vacation Applications

Pre-Application Submittal Deadline	Pre-Application Meeting Date	Application Submittal Deadline	P&Z Notice Date	P&Z Hearing Date
December 17, 2024	January 7, 2025	February 4, 2025	March 10, 2025	April 1, 2025
January 14, 2025	February 4, 2025	March 11, 2025	April 14, 2025	May 6, 2025
February 11, 2025	March 4, 2025			
March 11, 2025	April 1, 2025	April 8, 2025	May 12, 2025	June 3, 2025
April 15, 2025	May 6, 2025	June 10, 2025	July 14, 2025	August 5, 2025
May 13, 2025	June 3, 2025			
June 10, 2025	July 1, 2025	July 15, 2025	August 18, 2025	September 9, 2025
July 15, 2025	August 5, 2025	August 12, 2025	September 15, 2025	October 7, 2025
August 19, 2025	September 9, 2025	October 7, 2025	November 10, 2025	December 2, 2025
September 16, 2025	October 7, 2025	November 11, 2025	December 15, 2025	January 6, 2026
October 14, 2025	November 4, 2025			
November 11, 2025	December 2, 2025	December 9, 2025	January 12, 2026	February 3, 2026

Notes:

1. *Public Notification Deadlines are the dates by which public notices must be submitted to the local newspaper, other notification deadlines (i.e. mailing and posting) must be completed 15 days prior to the meeting.*
2. *Full applications for land use permits requiring a pre-application presentation (i.e. CUP, SUB, PUD, ZON) will be accepted no earlier than the next deadline after the pre-application P&Z meeting date.*
3. *All dates are tentative and may be modified at the discretion of City staff.*
4. *All applications requiring a pre-application hearing are to be approved by the McCall City Council or Valley County Board of Commissioners. Staff will schedule hearings after the Planning & Zoning Commission has provided a recommendation.*



ROS-24-10
LOT COMBINATION
1679 Crescent Dr

McCall Area Planning & Zoning Commission
Staff Report
December 3, 2024

Executive Summary

Description

A Record of Survey application to combine 4 lots of record into a singular lot of record totaling approximately 18,084 square feet.

Discussion

- The applicant is proposing to combine four (4) lots into one (1).
- The existing four (4) lots are smaller than the dimensional standards for the zone allow, the combination of lots as proposed would eliminate existing non-conformities for the property.

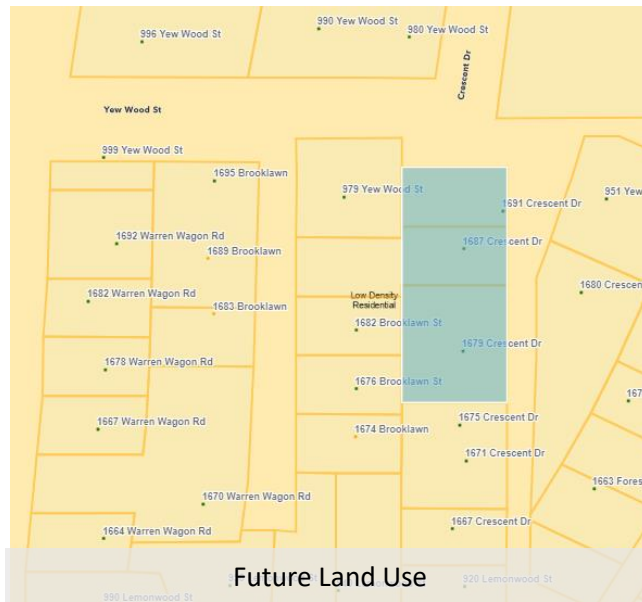
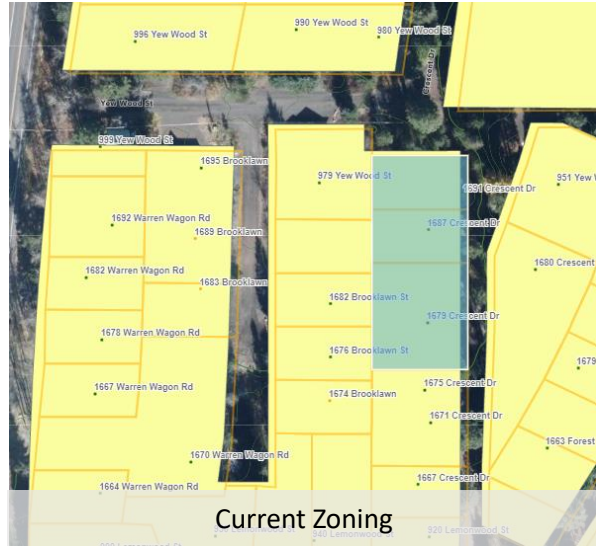
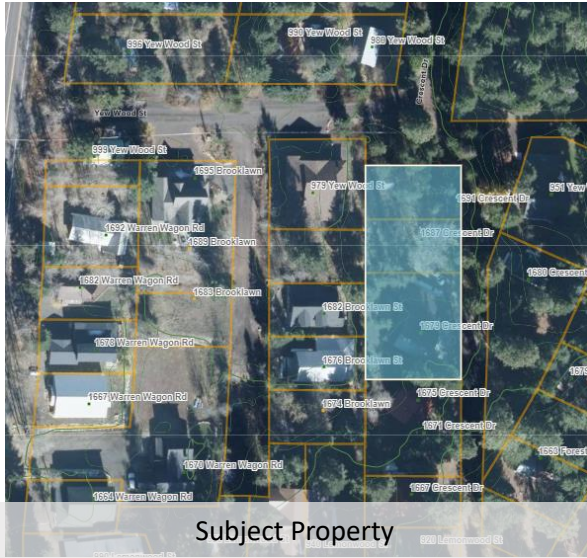
Conditions of Approval

	Prior to	Condition	Recommended Contact
1.	The City Clerk signing the Record of Survey	The applicant shall receive final engineering approval	Staff Engineer

Expirations

1. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.
2. The applicant shall provide the City with a .PDF copy of the recorded survey and recorded legal description immediately upon recordation.

Project Location



Project Analysis

Description

A Record of Survey application to combine 4 lots of record into a singular lot of record totaling approximately 18,084 square feet.

Zoning District:	R4 – Low Density Residential
Comprehensive Plan Designation:	Residential
Project Acreage:	0.42 acres
Proposed Use:	Single-Family Residential
Jurisdiction:	Area of Impact

Legal Description

Lots 26,27,28 & 28 Group C of the Payette Lake Club situate in the N ½ of the SE ¼ of T18N, R3E, B.M., Valley County, Idaho.

Associated Documents

Application	Most Recent Revised Submittal Date
Land Use Application	October 22, 2024
Proposed Survey	October 21, 2024
Application Narrative	October 22, 2024
Site Survey (Existing)	October 22, 2024

Public Noticing

Notice Type	Notice Date
Publication in the <i>Star News</i>	N/A
Mailing to property owners within 300 feet	N/A
Posting of the subject property	N/A

Prior Hearings

Hearing	Date	Action	URL
None			

Code Sections of Interest

- McCall City Code Section 9.1.05(B)(1): Eligibility for Record of Survey Procedure:
To be eligible for processing under subsection (B)2 of this section, an application for approval of a plat or survey must be signed by all owners and determined by the administrator to meet one or more of the standards set out in this subsection (B)1:
...
c) Two (2) or more lots of record are being combined; or
- McCall City Code Section 9.1.05(B)(2)(d): Application Qualifies:
If the administrator determines that the application qualifies for record of survey procedure, the administrator may thereafter waive the application of some or all provisions of this chapter. However, the following three (3) conditions cannot be waived:
(1) Name, and evidence of ownership; and
(2) The preparation and recording of a record of survey pursuant to Idaho Code; and

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:
McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.
- Deep Dive – Future Land Use Designations – Low Density Residential:
This land use designation is intended to provide for the development of low-density single-family residential neighborhoods. These neighborhoods consist of larger home sites. *Implementing Zoning Districts: R4*

Discussion

- The applicant is proposing to combine four (4) lots into one (1).

Comments

Agency

- Valley County Cartographer:
In an email dated November 19, 2024, the Valley County Cartographer provided the following comments:

This office has no objection to this application.

The combined lot boundary closure meets Idaho Code.

Please let the applicant know that a deed will need to be recorded at the County with the new written surveyed legal description for the combined lot. This is important as this step is required in order to split out Lot 21. Ideally, a second deed with the written surveyed legal description for the remaining Lot 21 would also be recorded.

- McCall City Engineer:
In an email dated November 26, 2024 the McCall City Engineer provided the following comments:

“The Public Works Department has reviewed the documents submitted for review for **ROS 24-10** and have the following comments and concerns.

1. The full right-of-way width for all rights-of-ways shown need to be labeled.
2. Are there any utilities installed on any of the lots that would require easements?
3. Once the final ROS draft is complete, two digital CAD files, prepared in accordance with the City’s digital data submission standards (DDSS) shall be provided. The complete DDSS guidance document can be found here:

<https://evogov.s3.amazonaws.com/141/media/115532.pdf>

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.”

Public

- None

Actions

Conditions of Approval

	Prior to	Condition	Recommended Contact
1.	The City Clerk signing the Record of Survey	The applicant shall receive final engineering approval	Staff Engineer

Expirations

1. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.
2. The applicant shall provide the City with a .PDF copy of the recorded survey and recorded legal description immediately upon recordation.

Prepared by:



Meredith Todd, City & Sustainability Planner



City of McCall

COMMUNITY DEVELOPMENT

www.mccall.id.us

216 East Park Street
McCall, Idaho 83638

Phone 208-634-7052

Main 208-634-7142

Fax 208-634-3038

Distribution Memorandum

Date: November 7, 2024

To: City of McCall

Airport

Community and Economic Development

Finance

Information Systems

Parks and Recreation

Police

Public Works

Valley County

Assessor's Office

County Surveyor

Parks and Recreation

Planning and Zoning

Road & Bridge

State

Central District Health Department

Idaho Department of Environmental Quality

Idaho Department of Lands

Idaho Fish and Game

Idaho Transportation Department

Idaho Transportation Department, Division of
Aeronautics

Other

Big Payette Lake Water Quality Council

Idaho Power Company

McCall Fire Protection District

Payette Lakes Recreational Water and Sewer
District

A complete list of individual recipients is available upon request.

From: Meredith Todd, City & Sustainability Planner

ROS-24-10: 1679 Crescent Ln – Thomas Flanagan

A Record of Survey application to combine 4 lots of record into a singular lot of record totaling approximately 18,084 square feet. The properties are zoned R4 – Low Density Residential and is more particularly described as:

Lots 26,27,28 & 28 Group C of the Payette Lake Club situate in the N ½ of the SE ¼ of T18N, R3E, B.M., Valley County, Idaho.

Planning and Zoning Meeting Date: December 3rd, 2024

Comments Deadline: **November 21, 2024**

Your comments are appreciated and the applicant will be required to satisfy all comments prior to approval. If you would like your comments to be incorporated to any Planning and Zoning documents please send me your comments by the date indicated above. If you have questions or concerns regarding the application, please contact the Meredith Todd at 208-634-4168 or mtodd@mccall.id.us



City of McCall

Record of Survey Application

Date: 10/14/2024

Applicant / Additional Billing Contact / Owner

Applicant Name: Thomas J Flanagan Address: City, State, Zip: Phone: Email: Designwit@icloud.com	Owner of Record Name: Flanagan Family Trust Address: PO Box 950 City: McCall State: Idaho Zip: 83638 Phone: 7602181987 Email: Designwit@icloud.com Invoice Email:
Addl Billing Contact: Thomas J & Kelly Flanagan Address: PO Box 950 City, State, Zip: McCall, ID 83638 Phone: 7608519776 Email: Desinwit@icloud.com	Owner of Record 2: Address: PO Box 950 City: McCall State: Idaho Zip: 83638 Phone: 7608519776 Email: Invoice Email:

Property

Site Address: 1679 Crescent Dr Legal Desc.: Payette Lakes Club Group C, Lots 26 & 27 Zoning District: R4	Area: Impact Area Sewer: Payette Lakes Recreational Water and Sewer Square Footage: 8075
---	---

Contractor

Contact Name: Kelly M Flanagan Business Name: McCall License #: Mailing Address:	Email: Designwit@icloud.com Phone: 7608519776 Idaho #:
---	--

Annexation Information

Annex Request: Adjoining Land Use: Parcel Split: Parcel Adjoin:	Valley County: Conditional Use: Project Type: Other Garage Water: Well Neighbor Meeting:
--	--

Description: Lot Combo - existing lots 26 & 27 8074.80 sq ft, adding lots 28 & 29 to 26 & 27, to build a 1480 sq ft garage. there are easements to the east and north of 28 & 29 attached is a survey by John Russell dated 9/20/24 geotechnical survey dated 10/11/24

Companion Applications

Record of Survey:	<input type="checkbox"/>	Subdivision (Final Plat):	<input type="checkbox"/>
Design Review:	<input type="checkbox"/>	Subdivision Minor Plat Amendment:	<input type="checkbox"/>
Scenic Route View:	<input type="checkbox"/>	Variance:	<input type="checkbox"/>
Shoreline and River Environs Review:	<input type="checkbox"/>	Rezone/Future Land/Comprehensive:	<input type="checkbox"/>
Conditional Use:	<input type="checkbox"/>	Zoning Code Amendment:	<input type="checkbox"/>
Development Agreement:	<input type="checkbox"/>	Annexation:	<input type="checkbox"/>
Planned Unit Develop (Prelim Plat):	<input type="checkbox"/>	Vacation:	<input type="checkbox"/>
Planned Unit Develop (Final Plat):	<input type="checkbox"/>	Land Use:	<input type="checkbox"/>
Subdivision (Prelim Plat):	<input type="checkbox"/>		

Details

Existing Cover:		Res Parcels:	
Proposed Cover:	1480	Comm Parcels:	
Open Space Sq.Ft.:	5711	Engineer Name:	
# of Parking:	3	Engineer Email:	
Max Grade %:	0	Engineer Phone:	
Average Grade %:	0	Pre-App Date:	
Total Acreage:	0	Condominiums:	
Zoned Density:	0	Townhomes:	
Proposed Density:	0	PUD Name:	
Total Exist Lot:	5	Architect Name:	
Total Proposed Lot:	4	Architect Email:	
Min Lot Frontage:	80	Architect Phone:	
Min Lot Size:	7191	Proposed Uses:	
Surveyor Name:	John Russell	Scenic Frontage:	
Surveyor Email:	Russellgeometric@gmail.com	# of New Trees:	
Surveyor Phone:		# of New Shrubs:	
Subdivision Name:		Floodplain:	
Existing Parcels:	0	Shoreline Frontage:	
Proposed Parcels:	0	High Water Mark:	
New Construction	0		
Sq Ft:			

Sign

Proposed color palette:
Total signage area existing:
Total signage area proposed:
Length of street facing wall in linear feet:
Length of property frontage in linear feet:
If multiple frontages, please add lengths from street 2:
Sign Company:
Proposed Lighting:

I do hereby certify that the information contained herein is true and correct.

Thomas J. Flanagan

Name

10/14/2024

Date

Half Moon Cove Sub. 2/5

Crescent Beach Sub. 1/35

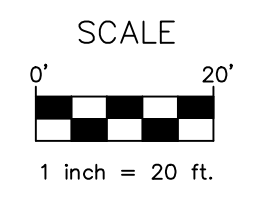
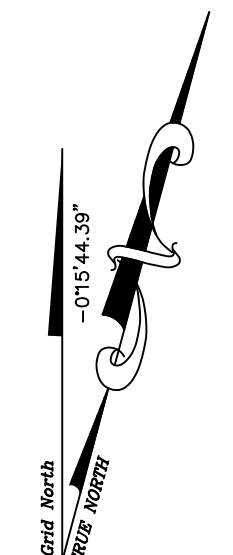
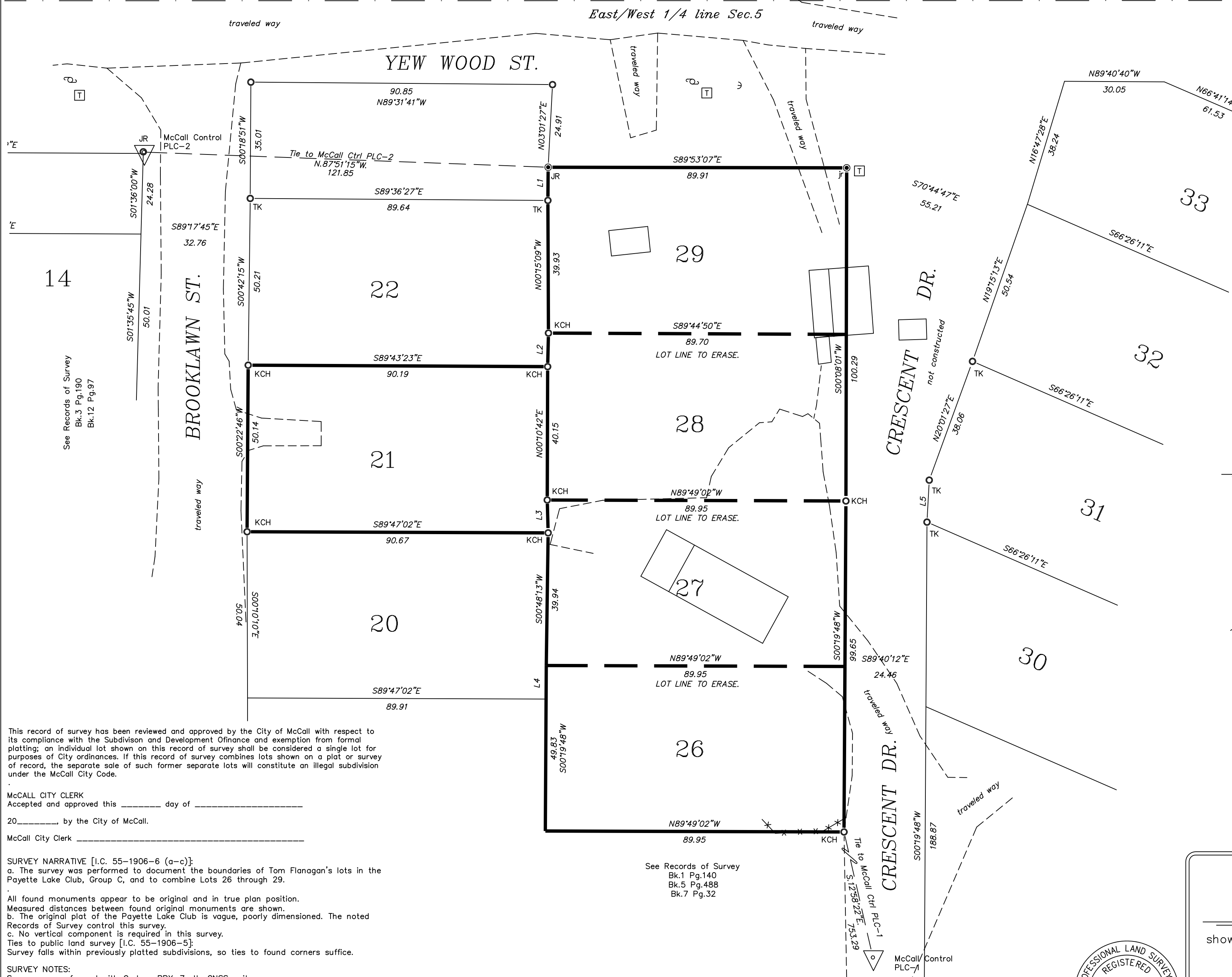
N89°59'16"E

1082.48'

East/West 1/4 line Sec.5

RECORDERS STAMP

Book _____, Page _____
of Records of Surveys.



Bearings based on GPS derived
State Plane Grid
Elevations based on Geoid 18, NAVD88

LEGEND

- = Found unmarked 5/8" rebar, or as noted
- = Found unmarked 1/2" rebar, or as noted
- TK = Tom Kerr LS 998
- KCH = K.C. Hanes LS 4996
- JR = John Russell LS 6021
- RS = Rod Skiftun LS 9585
- jr ● = Set 5/8"x30" rebar, marked LS 6021
- ⊕ = Utility Pole ψ = Guy Anchor
- ⊠ = Electric transformer
- ✂ = Fence line

LINE TABLE		
LINE	LENGTH	BEARING
L1	10.00	N00°29'14"E
L2	10.10	N01°22'44"E
L3	9.89	N01°34'54"W
L4	10.11	S00°19'48"W
L5	12.65	N03°04'07"E

This record of survey has been reviewed and approved by the City of McCall with respect to its compliance with the Subdivision and Development Ordinance and exemption from formal platting; an individual lot shown on this record of survey shall be considered a single lot for purposes of City ordinances. If this record of survey combines lots shown on a plat or survey of record, the separate sale of such former separate lots will constitute an illegal subdivision under the McCall City Code.

McCALL CITY CLERK
Accepted and approved this _____ day of _____
20____ by the City of McCall.
McCall City Clerk _____

SURVEY NARRATIVE [I.C. 55-1906-6 (a-c)]:
a. The survey was performed to document the boundaries of Tom Flanagan's lots in the Payette Lake Club, Group C, and to combine Lots 26 through 29.
b. The original plat of the Payette Lake Club is vague, poorly dimensioned. The noted Records of Survey control this survey.
c. No vertical component is required in this survey.
Ties to public land survey [I.C. 55-1906-5]:
Survey falls within previously platted subdivisions, so ties to found corners suffice.

SURVEY NOTES:
Survey was performed with Carlson BRX-7 rtk-GNSS units.
Base Station ITD3 at Meckel's green gate pit, was corrected using NGS OPUS CORS solutions for 9.8 hours observations from 2014 to 2024.
The only drafting elements at ground are bearings, distances, and elevations.
State Plane Coordinates HAVE NOT been modified in the drawing.
To do so use a Combined Factor of 1.000301821 applied at ITD3.
Elevations are at ground, derived from the Geoid 18 model, Epoch 2010.
Bearings are Grid. Mapping angle is -015°44.39'.

See Records of Survey
Bk.1 Pg.140
Bk.5 Pg.488
Bk.7 Pg.32

DRAWN: Madelyn Mann DATE: 6/18/24 SHEET: 1 of 1
REV: JER 6/23, 9/12/24; 10/20/24
RSI #24-032 (priors 14-013, & Sampson) Drawing: 24-32Di.dwg ROS-Tom tab
(C) TomF Map, Russell Geometric (2024) All Rights Reserved

I, John Russell, Idaho Professional Land Surveyor #6021, do hereby certify that this plat was prepared from notes taken during an actual survey made by me or under my direct supervision, in June 2024 and that it correctly represents the points, courses and distances as recorded in said field notes.



RECORD of SURVEY for
TOM FLANAGAN
Lot Combination

showing Lot 21, combine Lots 26-29 Group C
Payette Lake Club
Section 5, T.18N., R.3E., B.M.
Payette Lake Club
Valley County, Idaho
Russell Surveying, Inc. ~ McCall, Idaho
October 2024
10/20/24 Sheet 1 of 1

October 14, 2024

City of McCall

250 East Park Street

McCall Idaho, 83638

Attn:

RE: Record of survey application for Flanagan

Combining lots in Group C, Payette Lakes Club 26, 27, lot 28 and 29, not 21.

RP #0019000C026A (26 & 27)

RP #0019000C0290 (29)

RP #0019000C021A (28 not 21) Keeping lot 21 a stand-alone lot.

All lots are owned free and clear no encumbrance. There is an easement to the East of lot 29 owned by the Payette Lake Club, and a utility easement to the North bordering Yew Wood.

The project narrative is that we would like to build a garage 37' x 40' , totaling 1480 Square Feet with no carport, across lots 28 and 29. Lot 29 has access off Yew Wood and lot 28 has access off Crescent Dr. Crescent drive dead ends into our property lots 26 & 27.

The garage will be used to store our boat and vehicles as well as a closet area for hunting gear. An open loft for storage of winter and summer supplies, etc.

It is our intention to use one of the traveled ways shown on the attached survey off Yew Wood to enter the garage from the North easement. The other garage access would be off our lots 27 and 28.

From: [Jeff Bateman](#)
To: [Meredith Todd](#)
Subject: ROS-24-10: 1679 Crescent Drive
Date: Thursday, November 21, 2024 8:32:09 AM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Meredith,
Payette Lakes Recreational Water and Sewer District has reviewed the above referenced projects, and we do not have any comments at this time.

Jeff Bateman
Manager, Payette Lakes Recreational Water and Sewer District
(208) 634-4111



Valley County Transmittal
Division of Community and Environmental Health

Return to:

- Cascade
- Donnelly
- McCall
- McCall Impact
- Valley County

Rezone # ROS 24-10

Conditional Use # _____

Preliminary / Final / Short Plat _____

Lots 26, 27, 28 & 28 Group C Payette Lake Club Sub.
1679 Crescent Lane

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
 - high seasonal ground water
 - waste flow characteristics
 - bedrock from original grade
 - other _____
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approvals from appropriate entities are submitted, we can approve this proposal for:
 - central sewage
 - community sewage system
 - interim sewage
 - central water
 - individual sewage
 - individual water
 - community water well
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
 - central sewage
 - community sewage system
 - sewage dry lines
 - central water
 - community water
- 10. Run-off is not to create a mosquito breeding problem
- 11. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 12. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 13. We will require plans be submitted for a plan review for any:
 - food establishment
 - swimming pools or spas
 - beverage establishment
 - grocery store
 - child care center
- 14. _____

Reviewed By: _____

Date: 11/8/24

From: [Morgan Stroud](#)
To: [John Russell](#); desinwit@icloud.com
Cc: [Meredith Todd](#); [Rachel Santiago-Govier](#)
Subject: ROS 24-10 - 1679 Crescent Dr - Engineering Review
Date: Tuesday, November 26, 2024 4:01:44 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)

The Public Works Department has reviewed the documents submitted for review for **ROS 24-10** and have the following comments and concerns.

1. The full right-of-way width for all rights-of-ways shown need to be labeled.
2. Are there any utilities installed on any of the lots that would require easements?
3. Once the final ROS draft is complete, two digital CAD files, prepared in accordance with the City's digital data submission standards (DDSS) shall be provided. The complete DDSS guidance document can be found here:

<https://evogov.s3.amazonaws.com/141/media/115532.pdf>

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Thank you,



Morgan Stroud, PE
City Engineer
(D) 208.634.3458
www.mccall.id.us/engineering

Book Time with me for:

 [Engineering Questions & Concerns](#)

 [Land Use Questions for Planning & Engineering](#)



City of McCall

COMMUNITY DEVELOPMENT

www.mccall.id.us

216 East Park Street
McCall, Idaho 83638

Phone 208-634-7052

Main 208-634-7142

Fax 208-634-3038

Subject: SUB-24-06 – Request to Continue
From: Meredith Todd, City & Sustainability Planner
Date: December 3, 2024

The intention of this Memorandum is to request that the subject application be continued.

Please continue the subject application to the February 4, 2025, McCall Area Planning & Zoning Commission Meeting to allow the applicant and staff additional time to revise and review the application documentation.



City of McCall

COMMUNITY DEVELOPMENT

www.mccall.id.us

216 East Park Street
McCall, Idaho 83638

Phone 208-634-7052

Main 208-634-7142

Fax 208-634-3038

Subject: DR-24-23, SR-24-08 & SH-24-10 – Request to Continue
From: Meredith Todd, City & Sustainability Planner
Date: December 3, 2024

The intention of this Memorandum is to request that the subject application be continued.

Please continue the subject application to the January 7, 2025, McCall Area Planning & Zoning Commission Meeting to allow the applicant and staff additional time to revise and review the application documentation.



PAYETTE LAKES RECREATIONAL WATER AND SEWER DISTRICT

201 Jacob Street • McCall, Idaho 83638 • office 208-634-4111 • fax 208-634-7613

November 21, 2024

Meredith Todd
City of McCall
216 East Park Street
McCall, Idaho 83638

RE: DR-24-24, SH-24-12: 962 Wagon Wheel RD.

Meredith:

Payette Lakes Recreational Water and Sewer District (District) has reviewed the proposed project at the above-referenced address and has the following comments.


1. There is a sewer connection for the existing structure or lot and manhole(s) in the area of construction. The sewer service connection and manhole(s) shall be protected from damage during the demolition of the existing structures and construction of the proposed structure to prevent excessive water, or debris from entering the sewer system. Failure to do so will result in the owner/contractor being responsible for any cost incurred by the district for cleaning or removing debris that enters the sewer system.
2. Inflows of surface water and excessive are prohibited. Such prohibited sources of Inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day. Stormwater connections, sub-water drains, floor drains located within garages, foundations drains, roof drains, swimming pools, street drains, basement drains, sump pumps, and abandoned sewer lines.
3. The owner/contractor shall notify the District two(2) business days before connecting to the sewer stub.

Please contact me should you have any questions.

Best Regards,

A handwritten signature in black ink, appearing to read "Jeff Bateman", with a long horizontal flourish extending to the right.

Jeff Bateman
Manager, Payette Lakes Recreational Water and Sewer District
Email: jbateman@plrwsd.org



DR-24-24, SH-24-11

THOMAS RESIDENCE

962 Wagon Wheel Rd

McCall Area Planning & Zoning Commission

Staff Report

December 3, 2024

Executive Summary

Description

An application for Design Review and Shoreline Review to construct a 5388 square feet residence including approximately, 4,000 square feet of residence, 800 square feet of attached garage, and 600 square feet of covered exterior patio space adjacent to Payette Lake.

Discussion

- The applicant is proposing to construct a new single-family residence.
- The site plan does not identify snow storage areas. McCall Code Section 3.8.15(B) requires a minimum of 33% of the parking, sidewalk, and driveway area to be identified for snow storage. The site appears to be large enough to accommodate snow storage. Prior to the issuance of a building permit, the applicant should provide a revised site plan showing a minimum of one (1) square foot of snow storage area for every three (3) square feet of parking, sidewalk, and driveway area.
- The site plan identifies existing significant trees throughout the site and an existing lawn on the shore line side of the property. Extra care should be taken during construction to protect the existing, native vegetation. No fertilizer or non-native seed shall be used on the lakeward lawn.

Potential Motions Regarding DR-24-24, SH-24-12:

1. "I move to approve DR-24-24, SH-24-12 with the staff recommended conditions of approval."
2. "I move to approve DR-24-24, SH-24-12 with the staff recommended conditions of approval with the following modifications: _____."
3. "I move to continue DR-24-24, SH-24-12 to the _____ meeting to allow time for staff and the applicant to provide more information on the following: _____."

Conditions of Approval

	Prior to	Condition	Recommended Contact
1.	The issuance of a building permit	The applicant shall receive final engineering approval	Staff Engineer
2.		The applicant shall provide a revised site plan showing a minimum of one (1) square foot of snow storage area for every three (3) square feet of parking, sidewalk, and driveway area.	City Planner
3.		The applicant shall provide a tree protection plan for trees indicated by the City Arborist.	City Arborist
4.	The issuance of a certificate of occupancy	The applicant shall reseed all disturbed areas with native grasses or wildflowers	Building Official

Expirations

1. Pursuant to McCall Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Project Location



Subject Property



Current Zoning



Future Land Use

Project Analysis

Description

An application for Design Review and Shoreline Review to construct a 5388 square feet residence including approximately, 4,000 square feet of residence, 800 square feet of attached garage, and 600 square feet of covered exterior patio space adjacent to Payette Lake.

Zoning District: R4 – Low Density Residential

Comprehensive Plan Designation: Low Density Residential

Project Acreage: 0.69 acres

Proposed Use: Single Family Residence

Jurisdiction: Impact Area

Legal Description

Lot 146 of the Amended Payette Lake Cottage Sites situate in the N ½ of Section 33, T19N, R3E, B.M., Valley County, Idaho.

Associated Documents

Application	Most Recent Revised Submittal Date
Land Use Application	October 21, 2024
Building Plans (Updated)	December 1, 2024
Stormwater Drainage Report	November 12, 2024

Public Noticing

Notice Type	Notice Date
Publication in the <i>Star News</i>	November 14, 2024
Mailing to property owners within 300 feet	November 19, 2024
Posting of the subject property	November 18, 2024

Dimensional Standards

	Proposed	Required
Front Setback	160.5-feet	Greater than 25-feet
Rear Setback	50-feet	Greater than 50-feet (Shoreline)
Side Yard Setback 1	17-feet, 8-inches	Greater than 10-feet, 4-inches
Side Yard Setback 2	19-feet, 5-inches	Greater than 10-feet, 4-inches
Eave Height 1	31-feet, 9-inches	Less than 35-feet, 0-inches
Eave Height 2	29-feet, 8-inches	Less than 35-feet, 0-inches
Both Side Setbacks must add up to:	37-feet, 1-inch	Greater than 30-feet, 8-inches
Lot Coverage (square-feet)	5,408 square-feet	Less than 6,525 square-feet
Lot Coverage (percent)	18.02%	Less than 21.75%
Snow Storage	Not Identified	Greater than 1,252 square-feet
Building Height	31-feet, 8-inches	Less than 35-feet
Structure Size	5,388 square-feet	Less than 10,000 square-feet

Code Sections of Interest

- McCall Code Section 3.8.064: Driveways:
 - (A) Purpose:
 1. To set standards for driveway design that are safe, and accessible for fire safety equipment.
 2. To establish the minimum driveway width and setbacks necessary to reduce the impact on sidewalk crossings and protect the public right of ways.
 - (B) Driveway Width Standards: Unless authorized by the Public Works Director due to safety and traffic conditions, driveways widths shall be as follows:
 1. For a single-family dwelling unit and development in the CBD, driveways shall provide a minimum unobstructed width of twelve feet (12'), and a maximum width of twenty feet (20').
 2. For multi-family dwelling units and in the CC, NC, I, BP, AP, and CV zones, driveways shall provide a minimum unobstructed width of fourteen feet (14'), and a maximum width of thirty feet (30').
 - (C) Driveway Design:
 1. The maximum grade permitted shall be ten percent (10%) where a private driveway abuts a public or private street but must include a five foot (5') wide landing to the street with a maximum grade of six percent (6%). Upon an administrative approval and in consultation with the McCall Fire Protection District, exceptions may be granted based on topographic constraints.
 2. Residential driveways may provide access to more than one residential lot with adherence to these standards:
 - a. For lots of ten thousand (10,000) square feet or greater: two (2) residential lots.
 - b. For lots less than ten thousand (10,000) square feet in area: five (5) residential lots.
 - c. Driveways serving more than one residential lot shall be limited to a maximum length of one hundred feet (100').
 3. Driveways shall be setback five feet (5') from the property line and ten feet (10') between driveways or a distance determined by the Public Works Director to accommodate city snowplow operations.
 4. Only one (1) driveway access shall be allowed for each residential lot or parcel, unless approved by the Administrator.

(D) Fire Safety Requirements:

1. Driveways longer than one hundred fifty feet (150') shall have a turnaround area and adhere to any other requirements determined by McCall Fire Protection District for fire safety.
2. No part of the required fire lane width of any driveway in a multi-family development may be utilized for parking.

(E) Shared Driveways:

1. Shared driveways between adjoining uses or lots are encouraged to reduce the number of driveway intersections with streets, minimize pavement and surface water runoff, and protect the natural terrain.
2. The use of shared driveways shall be in accordance with the following standards:
 - a. Driveways accessing more than one residential dwelling unit shall be maintained by an owners' association or in accordance with a plat note.
 - b. Shared driveways or frontage streets may be required to consolidate access onto a collector or arterial street.
 - c. Access easements (for the benefit of affected properties) shall be a condition of land use or development approval and shall be recorded for all shared driveways. Digital data for easements shall be provided according to the digital data submittal standards policy.
 - d. Shared driveways are encouraged where the use would minimize grading and disruption on natural features. Shared driveways are not required when existing development patterns or physical constraints (e.g., topography, parcel configuration, or similar conditions) prevent extending the driveway with reciprocal access in the future.

(F) Drive-up and drive-through uses and their queuing areas shall be oriented away from street rights of way and away from residential districts.

- McCall Code Section 3.8.015: Snow Storage:

(A) Where snow removal and storage may pose a problem to traffic circulation or reduce the amount of adequate parking for winter business, the developer of the property shall designate a snow storage area and remove snow as necessary.

(B) Required Area: Snow storage areas not less than thirty-three percent (33%) of the parking, sidewalk and driveway areas shall be incorporated into the site design.

(C) Location:

1. Snow storage may only use landscape areas that are planted with salt tolerant and resilient plant materials that can tolerate the weight of stacked snow.
2. Snow storage may use up to thirty-three percent (33%) of the required parking areas.
3. Snow storage areas shall be located to avoid piling of snow against existing significant trees.

(D) See also the requirements of sections 3.3.041 and 9.3.08 of this code

[Required Findings Code Sections:](#)

- McCall Code Section 3.3.09: Residential Zone Design Review Standards:

(A) Purpose: To ensure that the McCall area's built environment complements McCall's natural environment, scenic mountain setting, and historic, small town character.

1. To support development that is residential in character and compatible with its surrounding neighborhood.
2. To preserve natural features, including waterways, open space, trees, native vegetation, and wildlife habitat and corridors.
3. To promote active and safe streetscapes in residential neighborhoods that are conducive to walking and biking.

(B) Applicability: The design standards apply to accessory dwelling units, multifamily residential developments of three (3) or more units and single-family residential dwelling units greater than three thousand five hundred (3,500) square feet.

(C) Residential Design Standards:

1. Building Scale: The building shall be in scale with the site conditions and surrounding structures. Appropriate scale can be accomplished through the following:
 - a. The principal structure on the site is the dominant element.
 - b. Building massing and scale is responsive to the site conditions, including views through and of the site, and existing vegetation. Development that is designed to complement rather than dominate the natural landscape.
 - c. Variations in wall planes and roof lines are incorporated to minimize the apparent scale of the building.
 - d. Porches, balconies, decks and terraces that strengthen the residential scale and character of the building.
 2. Building Design: Building designs shall enhance and/or continue the styles found in the McCall area with allowance for new interpretations of historic details. Local natural building materials, roof overhangs, covered porches and entrances, simplicity of design, and segmented windows are elements of the McCall style. Building designs that are in keeping with the McCall style include the following:
 - a. Materials:
 - i. Natural looking exterior materials looking siding and decking materials that resist heat and flames, including: composite decking, cement, plaster, stucco, masonry (such as stone brick or blocks) and fiber-cement siding, soffit, and trim products.
 - ii. Use of stones that convey the appearance of a structural element rather than a veneer facing.
 - iii. Metal when used in combination with natural materials.
 - b. Roofs:
 - i. Roofs that compliment and respond to the mountain setting and heavy snow environment.
 - ii. Hipped, pitched, shed and gabled roofs.
 - iii. Roofs designed to prevent snow or ice from shedding directly onto a pedestrian walkway, access or adjacent property.
 - iv. Class A fire rated roof assemblies.
 - c. Exterior Color:
 - i. Exterior wall colors that tend toward earthy warm hues, with accent colors kept to a minimum of two (2) and used to highlight entrances.
 - ii. No harshly contrasted color combinations, brilliant, luminescent or day-glow colors on exterior finishes.
 - d. No blank walls shall face street frontages, including blank or unarticulated garage doors.
 - e. Decks and balconies shall be designed to handle snow and drift loads including snow shedding from roof overhangs above.
- McCall Code Section 3.16.07: Design Review Criteria:
The commission or administrator shall determine the following before approval is given:
 - (A) The project is in general conformance with the comprehensive plan.
 - (B) The project does not jeopardize the health, safety or welfare of the public.
 - (C) The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance as enumerated in section 3.16.01 of this chapter.

- (D) The project will have no substantial impact on adjacent properties or on the community at large.
- (E) If applicable, a subdivision design review document has been reviewed and approved by the commission in lieu of the design guidelines.
- (F) For projects in the shoreline and river environs zone, the project will not have an unreasonable and adverse impact on the visual quality of its setting or the water quality.
- (G) For projects in the scenic route zone, the project will preserve and enhance the scenic quality of the street or highway. (Ord. 821, 2-23-2006, eff. 3-16-2006; amd. Ord. 998, 1-14-2021)

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:
McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.
- Deep Dive – Future Land Use Designations – Low Density Residential:
This land use designation is intended to provide for the development of low-density single-family residential neighborhoods. These neighborhoods consist of larger home sites. *Implementing Zoning Districts: R-4*

Discussion

- The applicant is proposing to construct a new single family residence. The subject property has an existing accessory dwelling unit and garage located further upland. The accessory structure was approved by CUP-17-06.
- The site plan does not identify snow storage areas. McCall Code Section 3.8.15(B) requires a minimum of 33% of the parking, sidewalk, and driveway area to be identified for snow storage. The site appears to be large enough to accommodate snow storage. Prior to the issuance of a building permit, the applicant should provide a revised site plan showing a minimum of one (1) square foot of snow storage area for every three (3) square feet of parking, sidewalk, and driveway area.

Comments

Agency

- City of McCall Public Works
In an email dated November 26, 2024, the City Engineer provided the following comments:

The Public Works Department has reviewed the documents submitted for review for **DR 24-24** and have the following comments and concerns.

1. Thank you for providing a stormwater report that details sections A,B, and F of the Drainage Management Guidelines. Please provide more information on the following stormwater items:
 1. A site plan that identifies where the BMP's identified in your stormwater report are located,
 2. I did not see a landscaping plan to detail plantings that will show how vegetation will aide in stormwater conveyance.
 3. Will there be any shallow swales installed parallel to the lake to help infiltrate stormwater runoff from the property prior to entering the lake?

- 4. Also to note that this property is in the shoreline, and requires the responsible party on the stormwater application to have a stormwater certificate.

2. Please label the lake and shoreline on your site plan and include a north arrow.

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

- Payette Lakes Recreational Water and Sewer District
See attached letter dated November 21, 2024.

Public

- No public comments have been received to date.

Actions

Potential Motions Regarding DR-24-24, SH-24-12:

1. "I move to approve DR-24-24, SH-24-12 with the staff recommended conditions of approval."
2. "I move to approve DR-24-24, SH-24-12 with the staff recommended conditions of approval with the following modifications: _____."
3. "I move to continue DR-24-24, SH-24-12 to the _____ meeting to allow time for staff and the applicant to provide more information on the following: _____."

Conditions of Approval

	Prior to	Condition	Recommended Contact
5.	The issuance of a building permit	The applicant shall receive final engineering approval	Staff Engineer
6.		The applicant shall provide a revised site plan showing a minimum of one (1) square foot of snow storage area for every three (3) square feet of parking, sidewalk, and driveway area.	City Planner
7.		The applicant shall provide a tree protection plan for trees indicated by the City Arborist.	City Arborist
8.	The issuance of a certificate of occupancy	The applicant shall reseed all disturbed areas with native grasses or wildflowers	Building Official

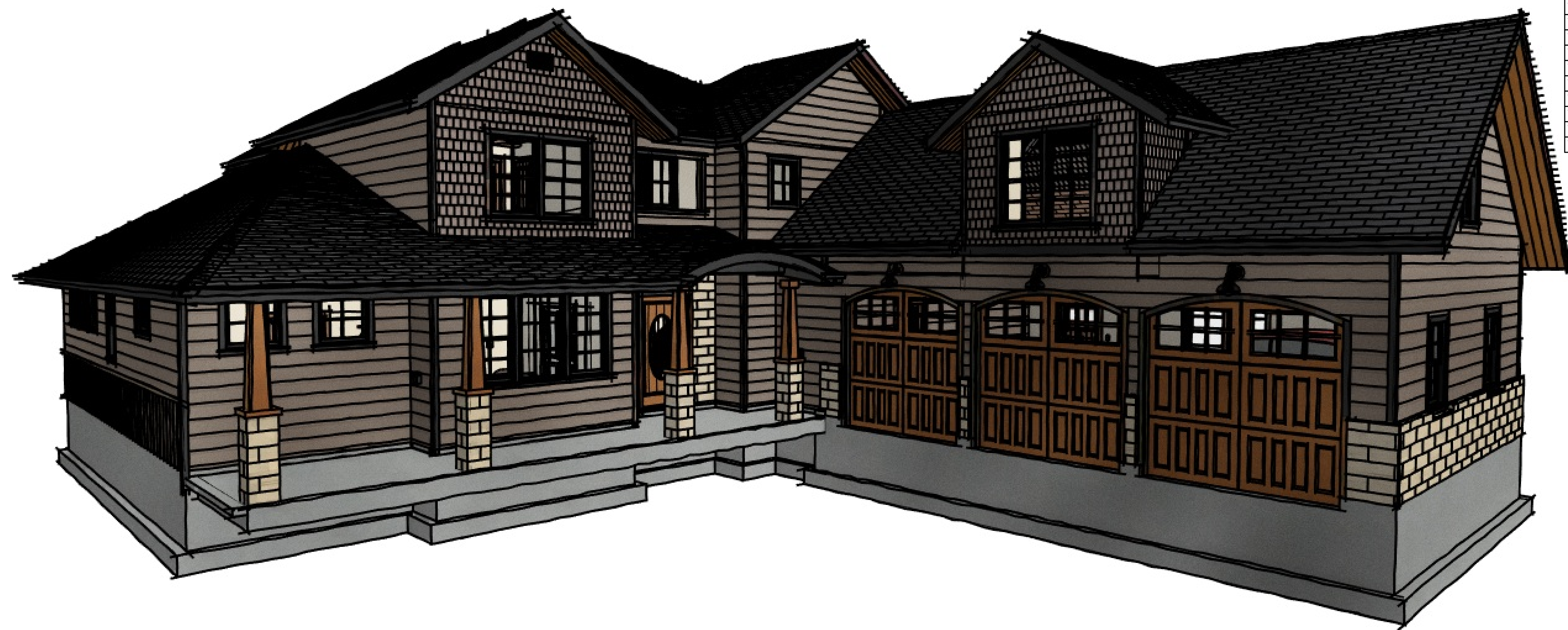
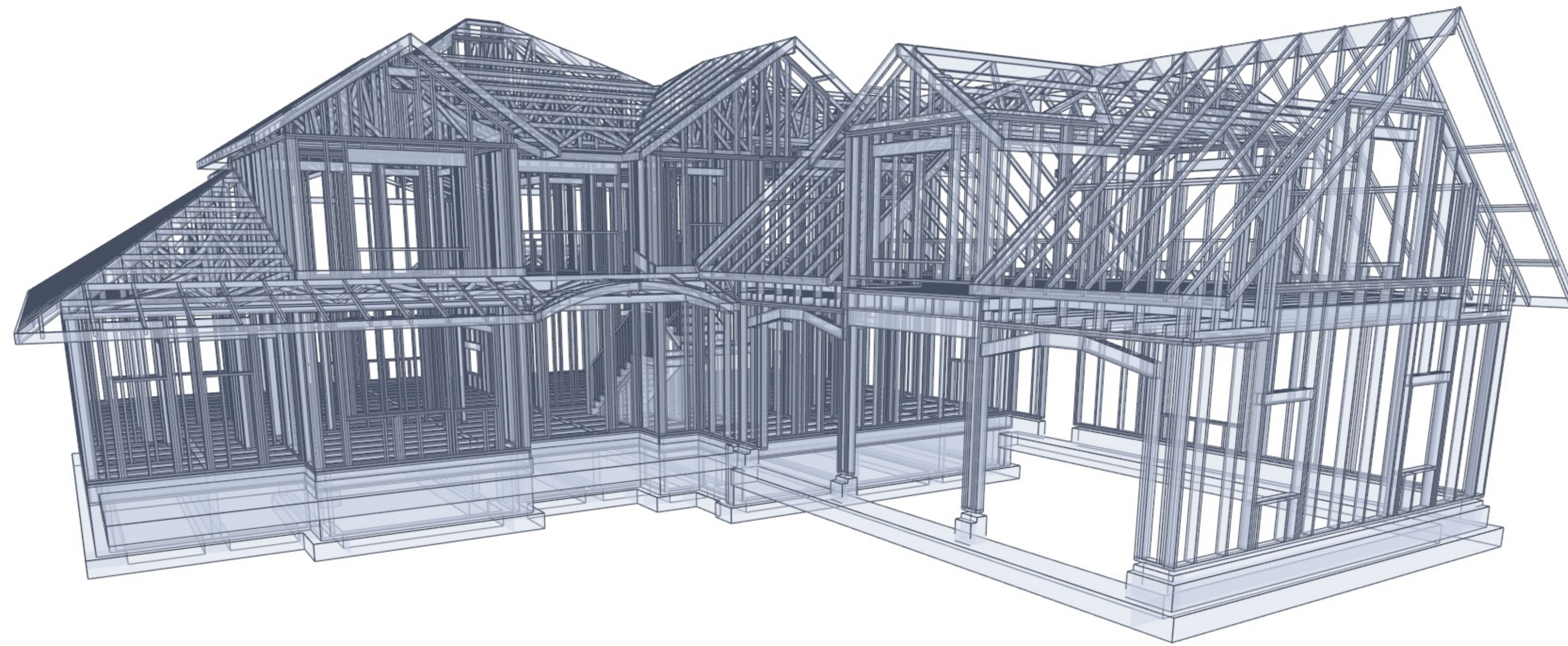
Expirations

1. Pursuant to McCall Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Prepared by:



Meredith Todd, City & Sustainability Planner



Layout Page Table	
Number	Title
1	PROJECT OVERVIEW
2	SITE PLAN
3	FOUNDATION NOTES
4	FOUNDATION PLAN
5	MAIN LEVEL FLOOR PLAN
6	MAIN LEVEL FLOOR BRACING PLAN
7	SECOND LEVEL FLOOR PLAN
8	SECOND LEVEL FLOOR BRACING PLAN
9	1ST LEVEL HEADER / 2ND FLOOR BEARING PLAN
10	1ST LEVEL ROOF FRAMING & HEADER PLAN
11	2ND LEVEL ROOF FRAMING & HEADER PLAN 2246
12	ELEVATIONS 1/2
13	ELEVATIONS 2/2
14	SECTIONS
15	PROPOSED ELECTRICAL 1/2
16	PROPOSED ELECTRICAL 2/2

DOOR SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	SIZE	DESCRIPTION	
D01	5080	1	1	5080 L/R EX	EXT. DOUBLE HINGED-GLASS PANEL	
D02	3668	1	1	3668 L/R	4 DR. BIFOLD-LOUVERED	
D03	2068	1	1	2068 L IN	HINGED-DOOR P04	
D04	2468	1	2	2468 L	POCKET-DOOR P04	
D05	2668	1	1	2668 L IN	HINGED-DOOR P04	
D06	2668	1	1	2668 R	POCKET-DOOR P04	
D07	2668	1	1	2668 R IN	HINGED-DOOR P04	
D08	2668	1	2	2668 L	POCKET-DOOR P04	
D09	2668	3	2	2668 L IN	HINGED-DOOR P04	
D10	2668	1	2	2668 R	POCKET-DOOR P04	
D11	2668	1	2	2668 R IN	HINGED-DOOR P04	
D12	30410	1	1	30410 L IN	HINGED-DOOR P04	
D13	3068	2	1	3068 L	POCKET-DOOR P04	
D14	3068	1	1	3068 L IN	HINGED-DOOR P04	
D15	3068	1	1	3068 L/R IN	DOUBLE HINGED-DOOR P04	
D16	3068	1	1	3068 R	POCKET-DOOR P04	
D17	3068	1	1	3068 R IN	HINGED-PANEL	
D18	3076	1	1	3076 R EX	EXT. HINGED-DOOR E21	
D19	3080	1	1	3080 R EX	EXT. HINGED-1308 FRENCH	
D20	3468	1	1	3468 L	SHOWER-GLASS SLAB	
D21	4068	1	1	4068 L/R	DOUBLE POCKET-DOOR P04	
D22	4080	1	1	4080 L/R IN	DOUBLE HINGED-GLASS PANEL	
D23	2680	2	1	2680 EX	EXT. FIXED-1306 FRENCH	
D24	4268	1	1	4268 R IN	SLIDER-DOOR P04	
D25	5068	1	1	5068 L/R IN	DOUBLE HINGED-DOOR P04	
D26	5068	1	2	5068 R IN	SLIDER-DOOR P04	
D27	9090	3	1	9090	GARAGE-GARAGE DOOR CHD05	
D28	6068	2	2	6068 R IN	SLIDER-DOOR P04	

WINDOW SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	SIZE	TOP	EGRESS
W01	2040SH	1	1	2040SH	96"	
W02	2060DH	2	1	2060DH	96"	
W03	2060FX	1	1	2060FX	96"	
W04	2626FX	5	1	2626FX	96"	
W05	2847DH	2	1	2847DH	96"	
W06	2850DH	2	1	2850DH	96"	YES
W07	2860SH	6	1	2860SH	96"	
W08	2860DH	2	1	2860DH	96"	
W09	3040DH	2	1	3040DH	96"	
W10	3060	1	1	3060	96"	
W11	4046	2	1	4046	96"	
W12	3050	1	1	3050	96"	
W13	3020RS	1	1	3020RS	96"	
W14	2860SH	2	1	2860SH	96"	YES
W15	2036FX	4	2	2036FX	80"	
W16	2848FX	4	2	2848FX	68"	
W17	3050SC	2	2	3050SC	80"	YES
W18	2850SC	2	2	2850SC	80"	YES
W19	2840SC	2	2	2840SC	80"	YES
W20	2850DH	2	2	2850DH	80"	
W21	3046SC	2	2	3046SC	80"	YES
W22	3050DH	1	2	3050DH	80"	
W23	3036	1	2	2630	80"	
W24	2610RS	1	2	2610RS	80"	

GENERAL NOTES:

- 4X8 HEADERS AT ALL FRAMED OPENINGS IN BEARING WALLS (UNLESS NOTED OTHERWISE)
- ALL STRUCTURAL LUMBER SIZED FOR NO. 2 OR BETTER DOUGLAS FIR/LARCH
- NOMINAL R-22 INSULATION REQUIRED AT EXTERIOR WALLS (IECC 2021)
- NOMINAL R-49 CEILING INSULATION (IECC 2018)
- ALL GLAZING IN DOORS, SLIDING PATIO DOORS, STORM DOORS, SHOWERS AND BATH ENCLOSURES WINDOWS WHERE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARCH OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND FIXED PANELS GREATER THAN 9 SQUARE FEET WITH LOWEST EDGE LESS THAN 18" ABOVE THE FLOOR TO BE TEMPERED (SEE PLANS).
- VINYL DOUBLE GLAZE WINDOWS (ASSUMES U-VALUE OF .32 LOW E)
- SHEAR TO CONFORM TO THE 2018 IRC
- ROOF SYSTEM TO BE PRE-ENGINEERED MANUFACTURED WOOD TRUSSES, SEE TRUSS COMPANY LAYOUT.
- ROOF TRUSSES SHALL BE SUPPORTED Laterally AT POINTS OF BEARING BY SOLID BLOCKING TO PREVENT ROTATION AND LATERAL DISPLACEMENT
- ALL ACCESSORIES IE. GRAB BARS, TOWEL BARS, PAPER DISPENSERS AND SOAP DISPENSERS AND SOAP DISHES PROVIDED ON OR WITHIN WALLS SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE
- DOORS BETWEEN GARAGE AND DWELLING ARE TO BE SELF CLOSING AND TIGHT FITTING SOLID WOOD DOOR 1-3/8" IN THICKNESS, OR A SELF CLOSING TIGHT FITTING DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
- 5/8" GYP BOARD IS REQUIRED AT ALL GARAGE/DWELLING WALLS AND CEILINGS APPLIED TO GARAGE SIDE AND ALL WALLS, BEAMS AND POSTS SUPPORTING FIRE PROTECTED HORIZONTAL STRUCTURAL LUMBER MEMBERS.
- CONTRACTOR TO REVIEW DRAWINGS PRIOR TO BIDDING AND CONSTRUCTION. ANY ERRORS AND OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER/DESIGNER FOR CORRECTION.

MAIN LIVING:	2246	SQFT
SECOND LIVING:	1720	SQFT
GARAGE:	800	SQFT
PORCH AND PATIO:	622	SQFT
TOTAL LIVING:	3966	SQFT

ENGINEER APPROVAL:

DESIGNER SUGGESTION THAT DRAWINGS BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

PROJECT OVERVIEW

962 WAGON WHEEL
MCCALL ID 83638

DRAWINGS PROVIDED BY:
DRAFTING STUDIO
2401 SUNRISE RIM
BOISE, ID 83705
208.871.6950
info@drafting-studio.com

DATE:
11/29/2024

SCALE:
WHEN PRINTED ON 24" X 36" SHEET
NO SCALE

SHEET:
P-1



WAGON WHEEL

GENERAL NOTES:

- 4X8 HEADERS AT ALL FRAMED OPENINGS IN BEARING WALLS (UNLESS NOTED OTHERWISE)
- ALL STRUCTURAL LUMBER SIZED FOR NO. 2 OR BETTER DOUGLAS FIR/LARCH
- NOMINAL R-22 INSULATION REQUIRED AT EXTERIOR WALLS (IECC 2021)
- NOMINAL R-49 CEILING INSULATION (IECC 2018)
- ALL GLAZING IN DOORS, SLIDING PATIO DOORS, STORM DOORS, SHOWERS AND BATH ENCLOSURES WINDOWS WHERE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARCH OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND FIXED PANELS GREATER THAN 9 SQUARE FEET WITH LOWEST EDGE LESS THAN 18" ABOVE THE FLOOR TO BE TEMPERED (SEE PLANS).

- VINYL DOUBLE GLAZE WINDOWS (ASSUMES U-VALUE OF .32 LOW E)
7. SHEAR TO CONFORM TO THE 2018 IRC
8. ROOF SYSTEM TO BE PRE-ENGINEERED MANUFACTURED WOOD TRUSSES, SEE TRUSS COMPANY LAYOUT.

9. ROOF TRUSSES SHALL BE SUPPORTED Laterally AT POINTS OF BEARING BY SOLID BLOCKING TO PREVENT ROTATION AND LATERAL DISPLACEMENT

10. ALL ACCESSORIES IE. GRAB BARS, TOWEL BARS, PAPER DISPENSERS AND SOAP DISPENSERS AND SOAP DISHES PROVIDED ON OR WITHIN WALLS SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE

11. DOORS BETWEEN GARAGE AND DWELLING ARE TO BE SELF CLOSING AND TIGHT FITTING SOLID WOOD DOOR 1-3/8" IN THICKNESS, OR A SELF CLOSING TIGHT FITTING DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.

12. 5/8" GYP BOARD IS REQUIRED AT ALL GARAGE/DWELLING WALLS AND CEILINGS APPLIED TO GARAGE SIDE AND ALL WALLS, BEAMS AND POSTS SUPPORTING FIRE PROTECTED HORIZONTAL STRUCTURAL LUMBER MEMBERS.

13. CONTRACTOR TO REVIEW DRAWINGS PRIOR TO BIDDING AND CONSTRUCTION. ANY ERRORS AND OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER/DESIGNER FOR CORRECTION.

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12	ELEVATIONS 1/2
13	ELEVATIONS 2/2
14	SECTIONS
15	PROPOSED ELECTRICAL 1/2
16	PROPOSED ELECTRICAL 2/2

ENGINEER APPROVAL:

DESIGNER SUGGESTION THAT DRAWINGS BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

SITE PLAN

962 WAGON WHEEL
MCCALL ID 83638

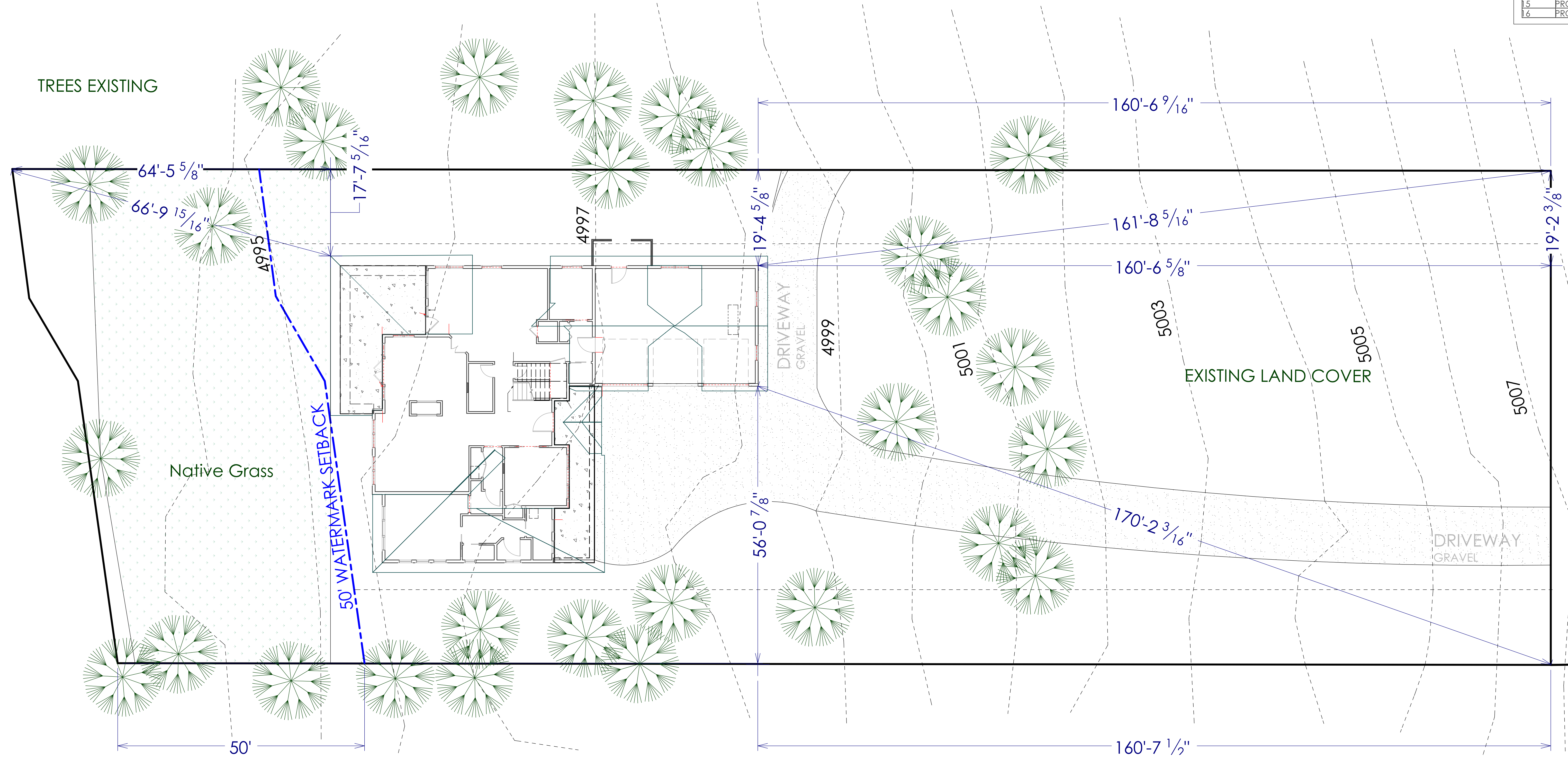
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STUDIO
2401 SUNRISE RIM
BOISE, ID 83705
208.871.6950
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DATE:
11/29/2024

SCALE:
WHEN PRINTED ON 24" X 36" SHEET
1" = 10'

SHEET:
P-2

WAGON WHEEL



PLOT PLAN NOTES:

- CONTRACTOR/OWNER TO VERIFY ALL DIMENSIONS, SPECIFICATIONS AND ELEVATIONS, SETBACKS AND EASEMENT, AND REPORT ANY ERRORS AND/OR OMISSIONS PRIOR TO CONSTRUCTION.
- SLOPE AWAY FROM HOUSE MINIMUM 5% FOR 10' IN EACH DIRECTION AND 2% THEREAFTER.
- SUGGESTED GARAGE HEIGHT TO BE BUILT UP TO ELEVATION MARKER 5000 MIN. AND SLOPE AWAY UNTIL MEETING EXISTING GRADE

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ENGINEER APPROVAL:

DESIGNER SUGGESTION THAT DRAWINGS BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

FOUNDATION PLAN

962 WAGON WHEEL
MCCALL ID 83638

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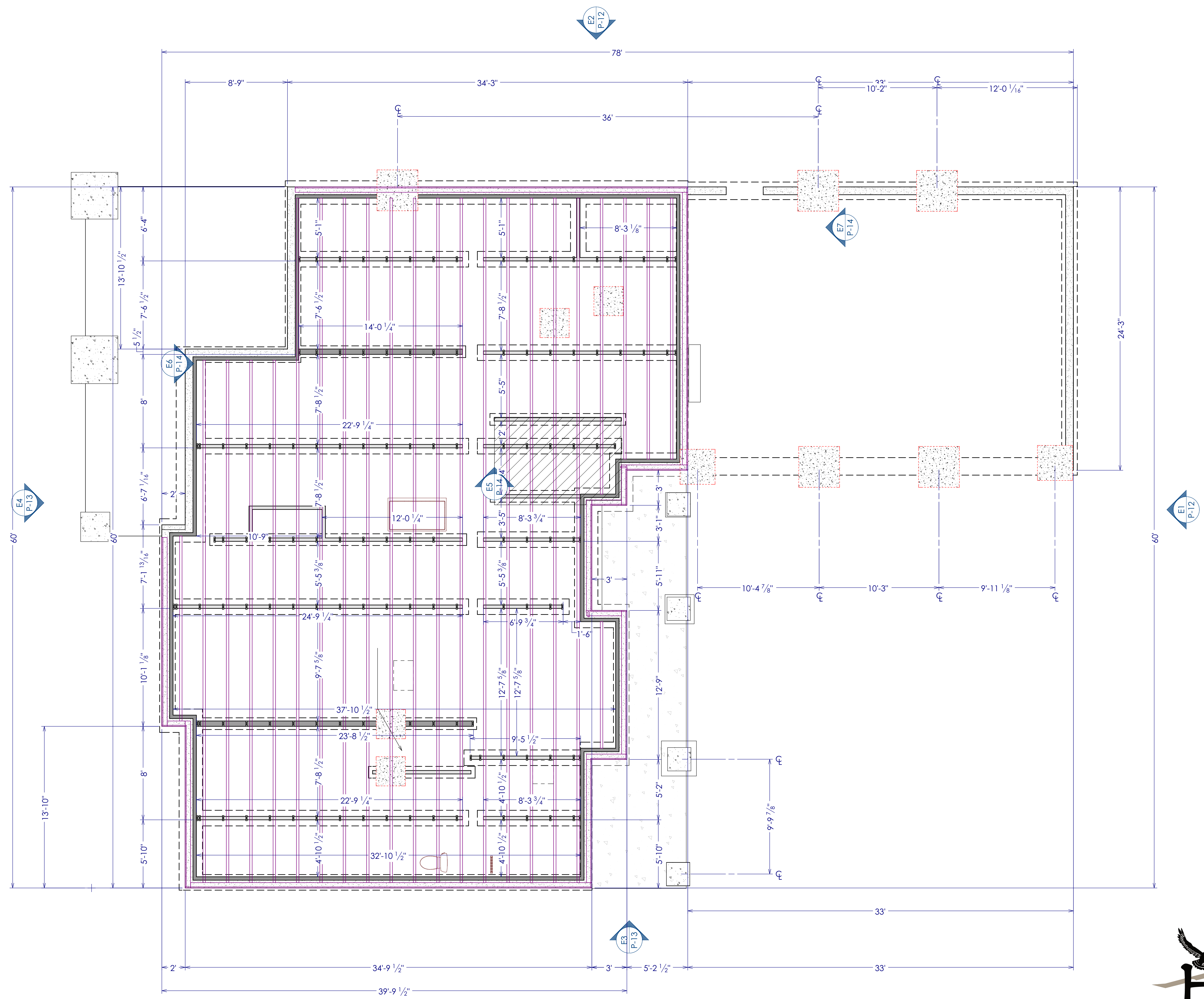
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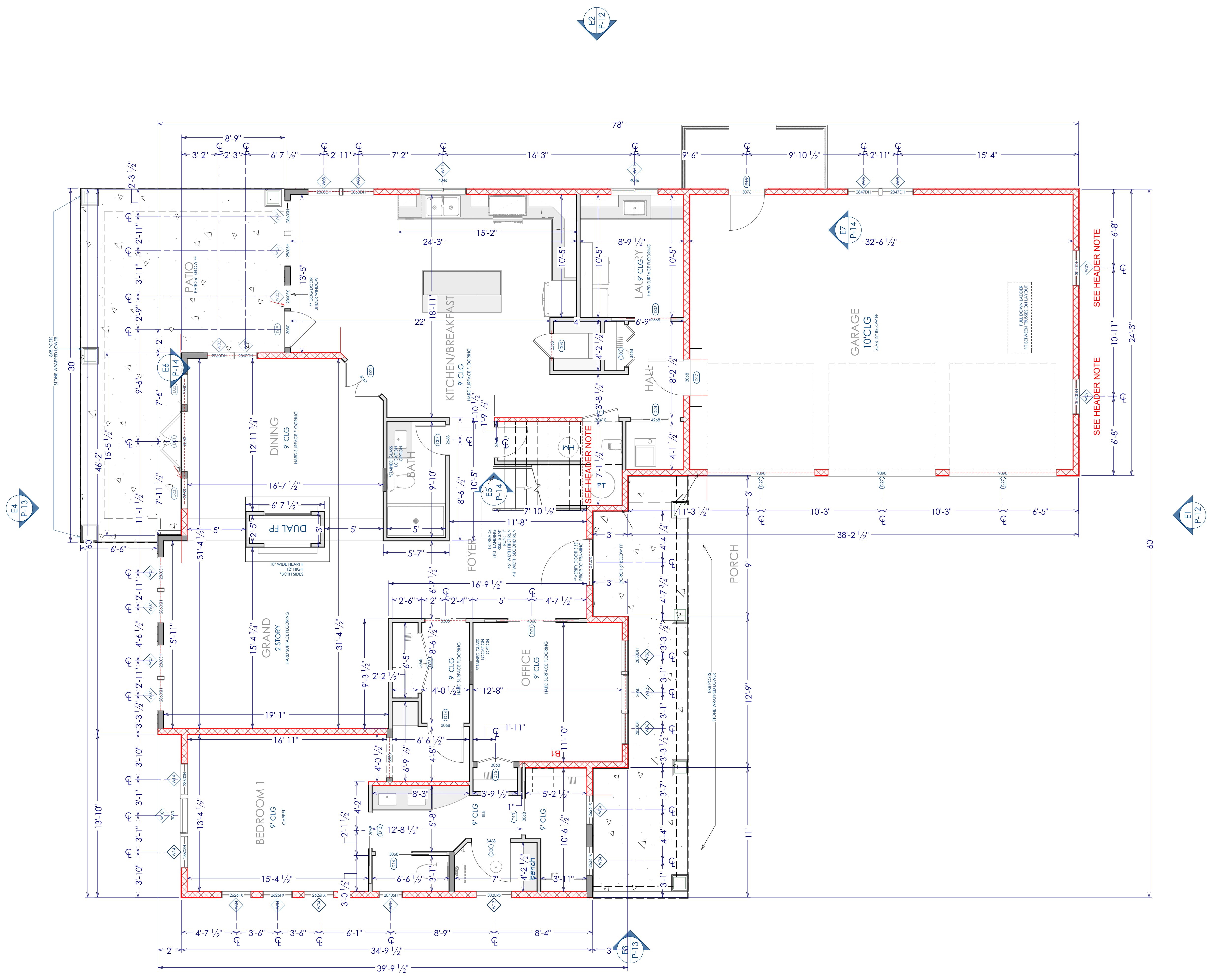
SHEET:

P-4

WAGON WHEEL



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ENGINEER APPROVAL:

DESIGNER SUGGESTION THAT DRAWINGS BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

MAIN LEVEL FLOOR PLAN

962 WAGON WHEEL
MCCALL ID 83638

DRAWINGS PROVIDED BY:
DRAFTING
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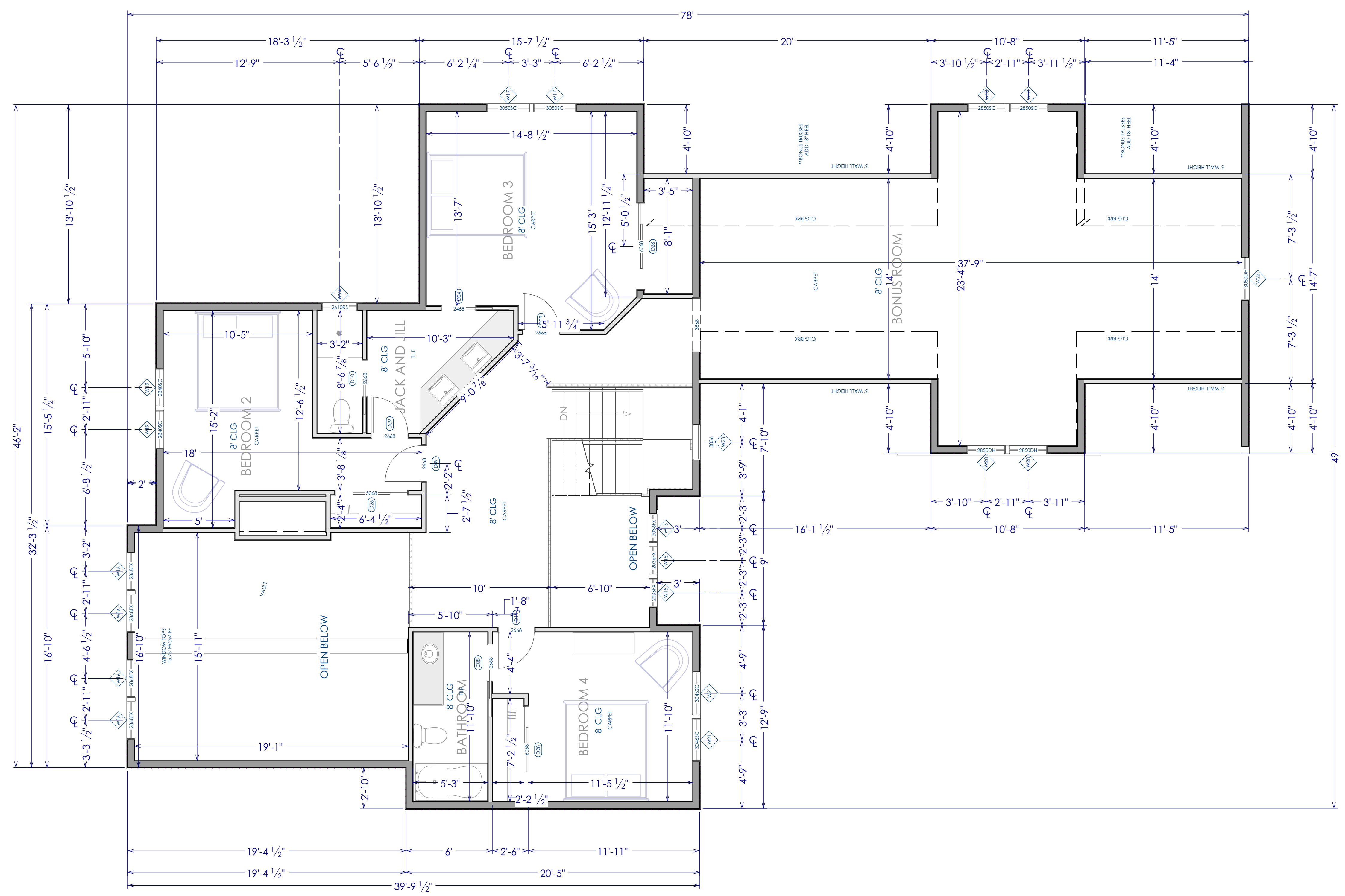
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WHEN PRINTED ON 24" X 36" SHEET

SHEET:
P-5



WAGON WHEEL

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ENGINEER APPROVAL:

DESIGNER SUGGESTION THAT DRAWINGS BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

SECOND LEVEL FLOOR PLAN

962 WAGON WHEEL
MCCALL ID 83638

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2401 SUNRISE RIM
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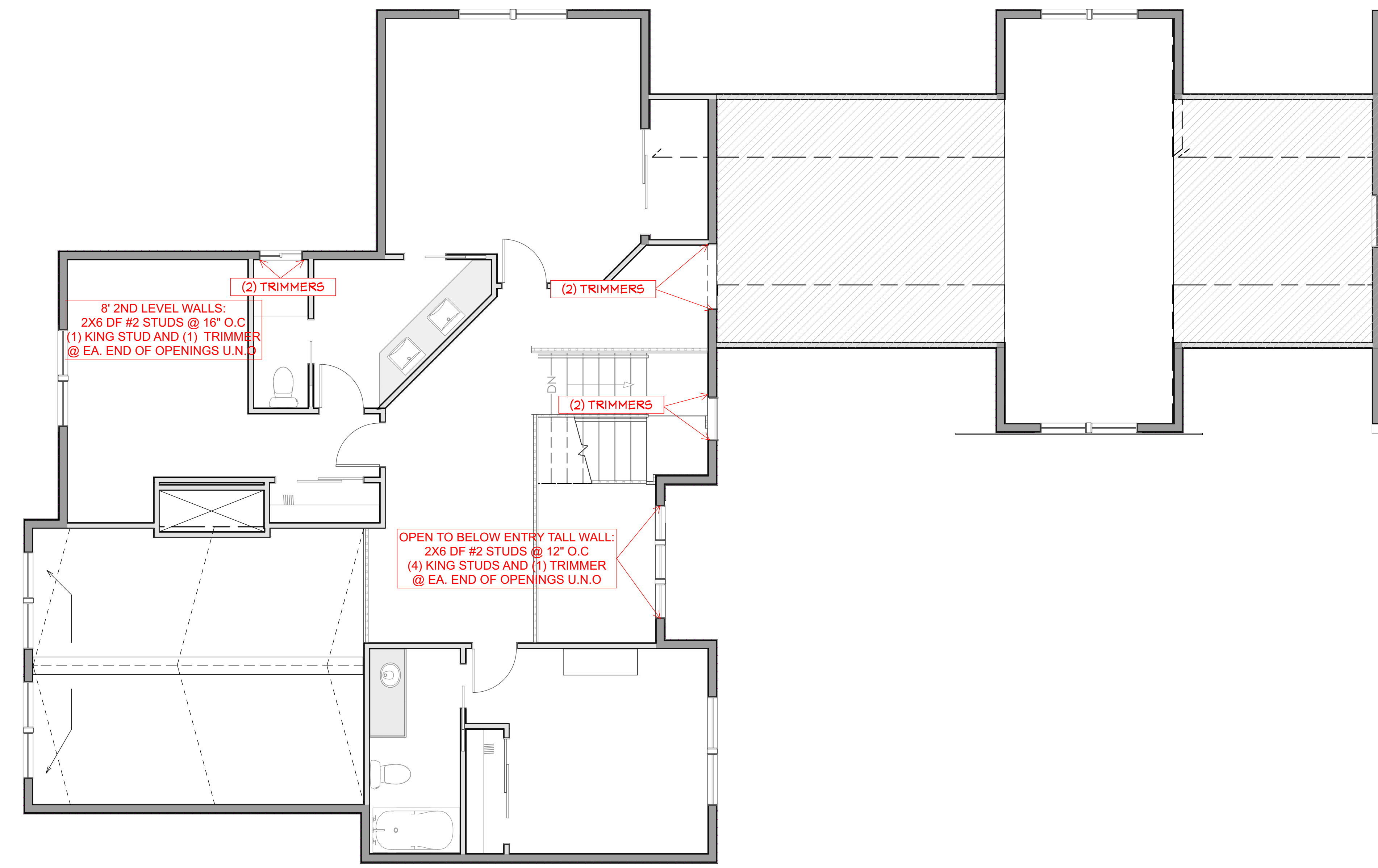
P-7

WAGON WHEEL



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UPPER LEVEL WALL LATERAL BRACING SUPPORTED BY ROOF DIAPHRAGM NO ENGINEERING REQUIRED



FLOORPLAN NOTES:

- FIRST FLOOR CEILING HEIGHT TO BE 9' U.N.O. SECOND LEVEL CEILING HEIGHT TO BE 8' U.N.O.
- ALL STRUCTURAL LUMBER SIZED FOR NO. 2 OR BETTER DOUGLAS FIR / LARCH
- NOMINAL R49 CEILING INSULATION (IECC 2018)
- VINYL DOUBLE GLAZE WINDOWS (ASSUMES U-VALUE OF .32 LOW E)
- ALL GLAZING IN DOORS, SLIDING PATIO DOORS STORM DOORS, SHOWER AND BATH ENCLOSURES WINDOWS WHERE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARCH OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND FIXED PANELS GREATER THAN 9 SQUARE FEET WITH LOWEST EDGE LESS THAN 18" ABOVE THE FLOOR TO BE TEMPERED (SEE PLANS).
- ROOF SYSTEM TO BE PRE-ENGINEERED MANUFACTURED WOOD TRUSSES, SEE TRUSS COMPANY LAYOUT.
- ROOF TRUSSES SHALL BE SUPPORTED Laterally AT POINTS OF BEARING BY SOLID BLOCKING TO PREVENT ROTATION AND LATERAL DISPLACEMENT
- ALL ACCESSORIES IE, GRAB-BARS, TOWEL BARS, PAPER DISPENSERS AND SOAP DISHES PROVIDED ON OR WITHIN WALLS SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE
- SHOWER ENCLOSURES TO HAVE A MINIMUM HEIGHT ABOVE DRAIN INLET OF 70" W/ APPROVED WATER RESISTANT BACKING.
- DOORS BETWEEN GARAGE AND DWELLING ARE TO BE SELF CLOSING AND TIGHT FITTING SOLID WOOD DOOR 1 3/8" IN THICKNESS, OR A SELF CLOSING TIGHT FITTING DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
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- CONTRACTOR TO REVIEW DRAWINGS PRIOR TO BIDDING AND CONSTRUCTION. ANY ERRORS AND OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER/DESIGNER FOR CORRECTION.

HEADER NOTES:

- ALL LOAD BEARING HEADERS TO BE 4x8 / (2) 2x8 MIN. U.N.O..
 - ALL HEADER HEIGHT TO BE FRAMED AT 8'-0" A.F.F. (TO BOTTOM OF HEADER) U.N.O.
- *OVER HEIGHT WALL FRAMING: MUST PROVIDE ENGINEERING OF ALL WOOD FRAMED TALL WALLS OVER 10'

ENGINEER APPROVAL:

DESIGNER SUGGESTION THAT DRAWINGS BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

SECOND LEVEL FLOOR BRACING PLAN

962 WAGON WHEEL MCCALL ID 83638

DRAWINGS PROVIDED BY: **DRAFTING STUDIO**
2401 SUNRISE RIM BOISE, ID 83705
208.871.6950
info@drafting-studio.com

DATE:

11/29/2024

SCALE:

1/4" = 1'

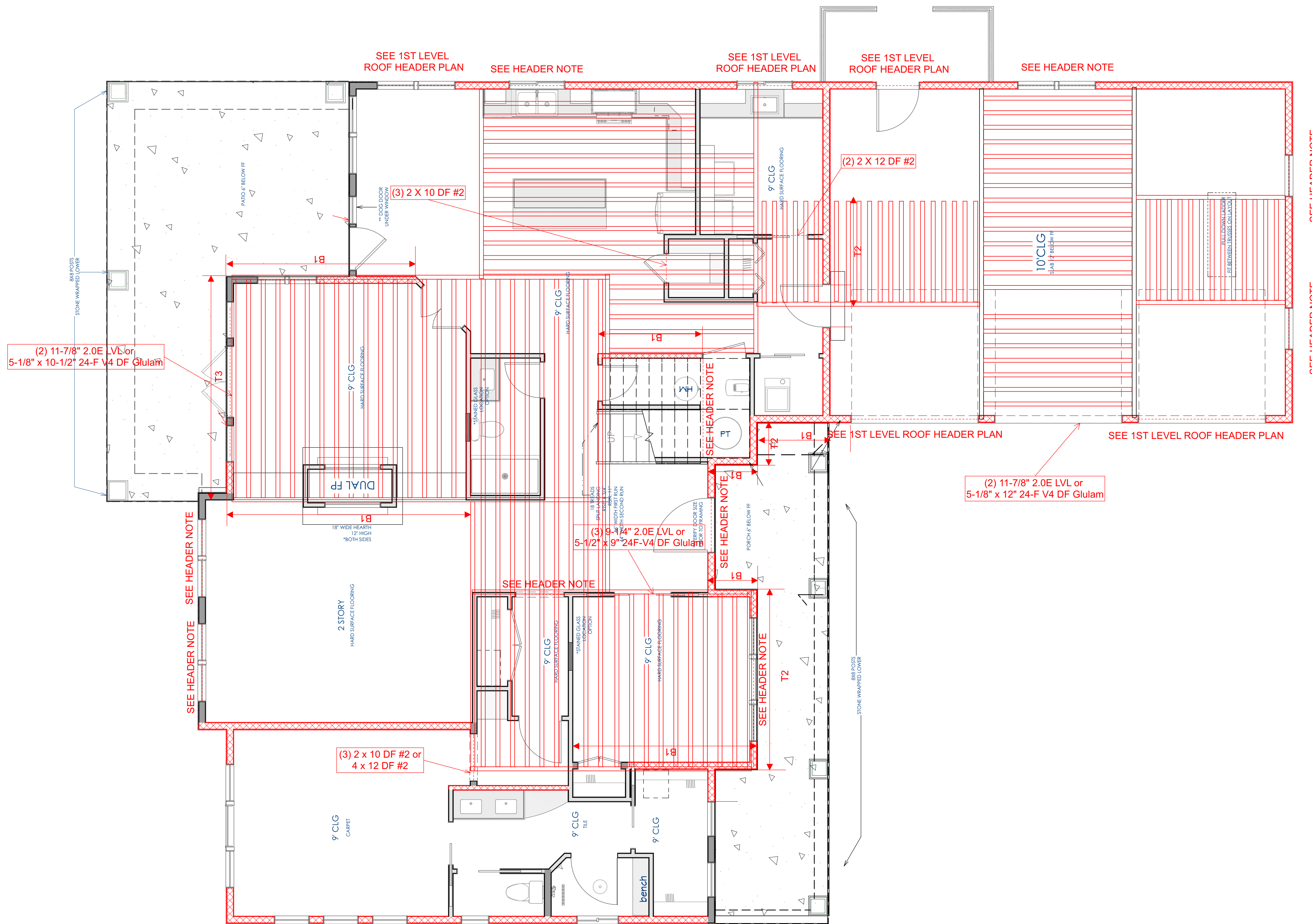
SHEET:

P-8



WAGON WHEEL

**P.E. FLOOR TRUSSES
(DIRECTION INTERPRETATION BASED ON PLAN PROVIDED)**



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FLOORPLAN NOTES:

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- ROOF SYSTEM TO BE PRE-ENGINEERED MANUFACTURED WOOD TRUSSES, SEE TRUSS COMPANY LAYOUT.
- ROOF TRUSSES SHALL BE SUPPORTED LATERALLY AT POINTS OF BEARING BY SOLID BLOCKING TO PREVENT ROTATION AND LATERAL DISPLACEMENT
- ALL ACCESSORIES IE, GRAB-BARS, TOWEL BARS, PAPER DISPENSERS AND SOAP DISHES PROVIDED ON OR WITHIN WALLS SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE
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HEADER NOTES:

- ALL LOAD BEARING HEADERS TO BE 4x8 / (2) 2x8 MIN. U.N.O..
 - ALL HEADER HEIGHT TO BE FRAMED AT 8'-0" A.F.F. (TO BOTTOM OF HEADER) U.N.O.
- *OVER HEIGHT WALL FRAMING: MUST PROVIDE ENGINEERING OF ALL WOOD FRAMED TALL WALLS OVER 10'

ENGINEER APPROVAL:

DESIGNER SUGGESTION THAT DRAWINGS BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

1ST LEVEL HEADER / 2ND FLOOR BEARING PLAN

**962 WAGON WHEEL
MCCALL ID 83638**

DRAWINGS PROVIDED BY:
DRAFTING STUDIO
2401 SUNRISE RIM
BOISE, ID 83705
208.871.6950
info@drafting-studio.com

DATE:

11/29/2024

SCALE:
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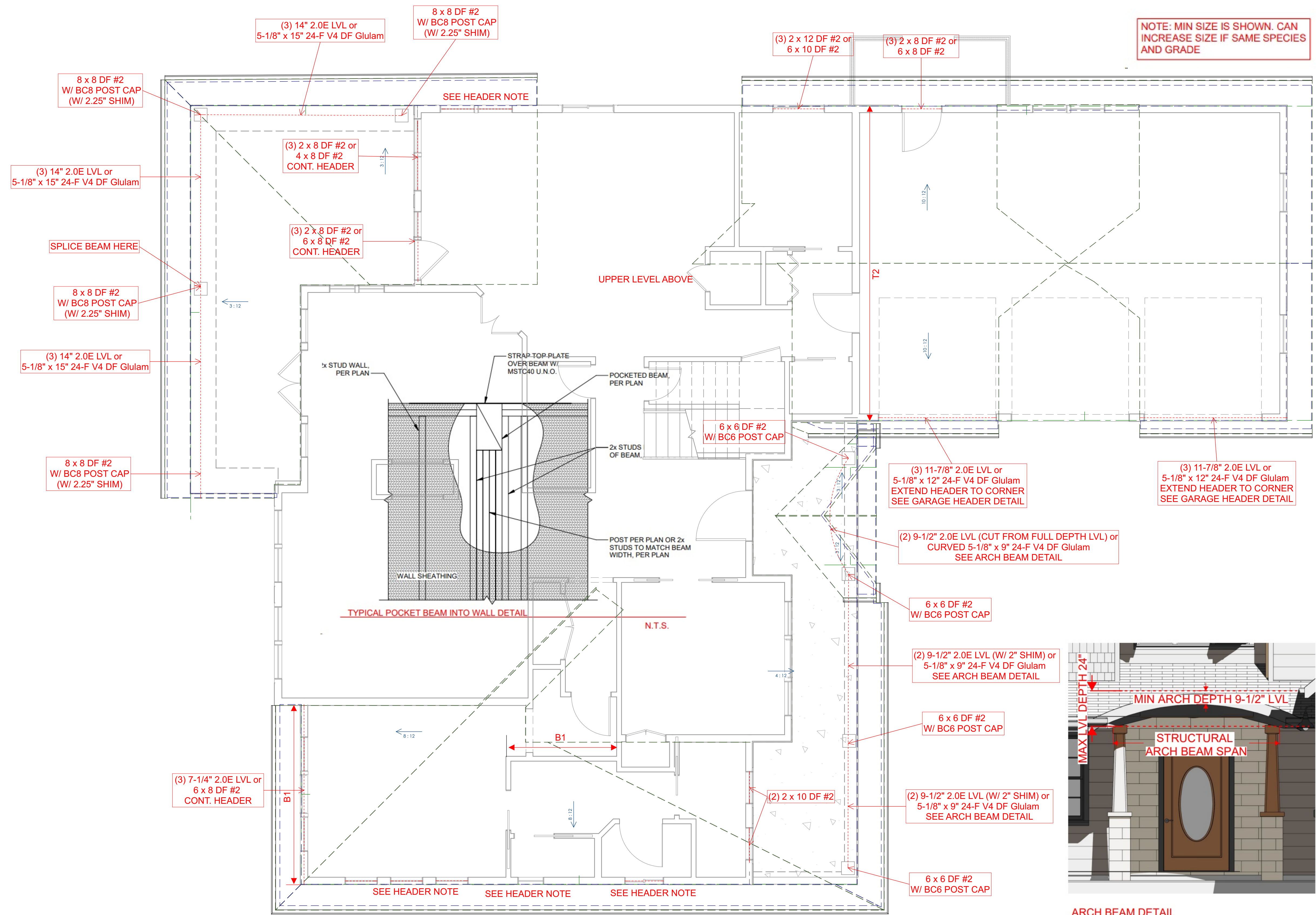
SHEET:

P-9



WAGON WHEEL

Layout Page Table	
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NOTE: MIN SIZE IS SHOWN. CAN INCREASE SIZE IF SAME SPECIES AND GRADE

ROOF NOTES:

1. THIS PLAN IS DESIGNED TO ACCOMMODATE PRE MANUFACTURED WOOD TRUSSES, ENGINEERING FROM THE TRUSS MANUFACTURER IS REQUIRED. THIS SHEET IS MEANT TO BE USED AS A REFERENCE ONLY AND IS NOT MEANT TO BE USED AS A SUBSTITUTE FOR MFR. DESIGN AND LAYOUT.
2. ALL TRUSSES ARE STANDARD PRE-MANUFACTURED @ 24" O.C.
3. ROOF VENTS ARE PER CODE 1 SF OF VENTILATION PER 300 SF OF ATTIC SPACE AS PER IBC ROOF VENTILATION ACHIEVED THROUGH 2' GABLE VENTS TYP, AND 8" x 16" METAL SOFFIT VENTS @ 8' O.C. AT SOFFITS TYP. ALSO ROOF VENTS 9" DIAMETER @ 8' O.C.
4. ROOF PITCH AS NOTED. 24" SOFFITS AT EAVES.
5. COORDINATE ANY NEWLY ESTABLISHED POINT LOADS (NOT DESIGNED FOR) AS CREATED FROM THE FLOOR JOIST OR TRUSS PROVIDER WITH THE DESIGNER PRIOR TO POURING FOUNDATION.

HEADER NOTES:

1. ALL LOAD BEARING HEADERS TO BE 4x8 / (2) 2x8 MIN. U.N.O..

ENGINEER APPROVAL:

DESIGNER SUGGESTION THAT DRAWINGS BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

1ST LEVEL ROOF FRAMING & HEADER PLAN

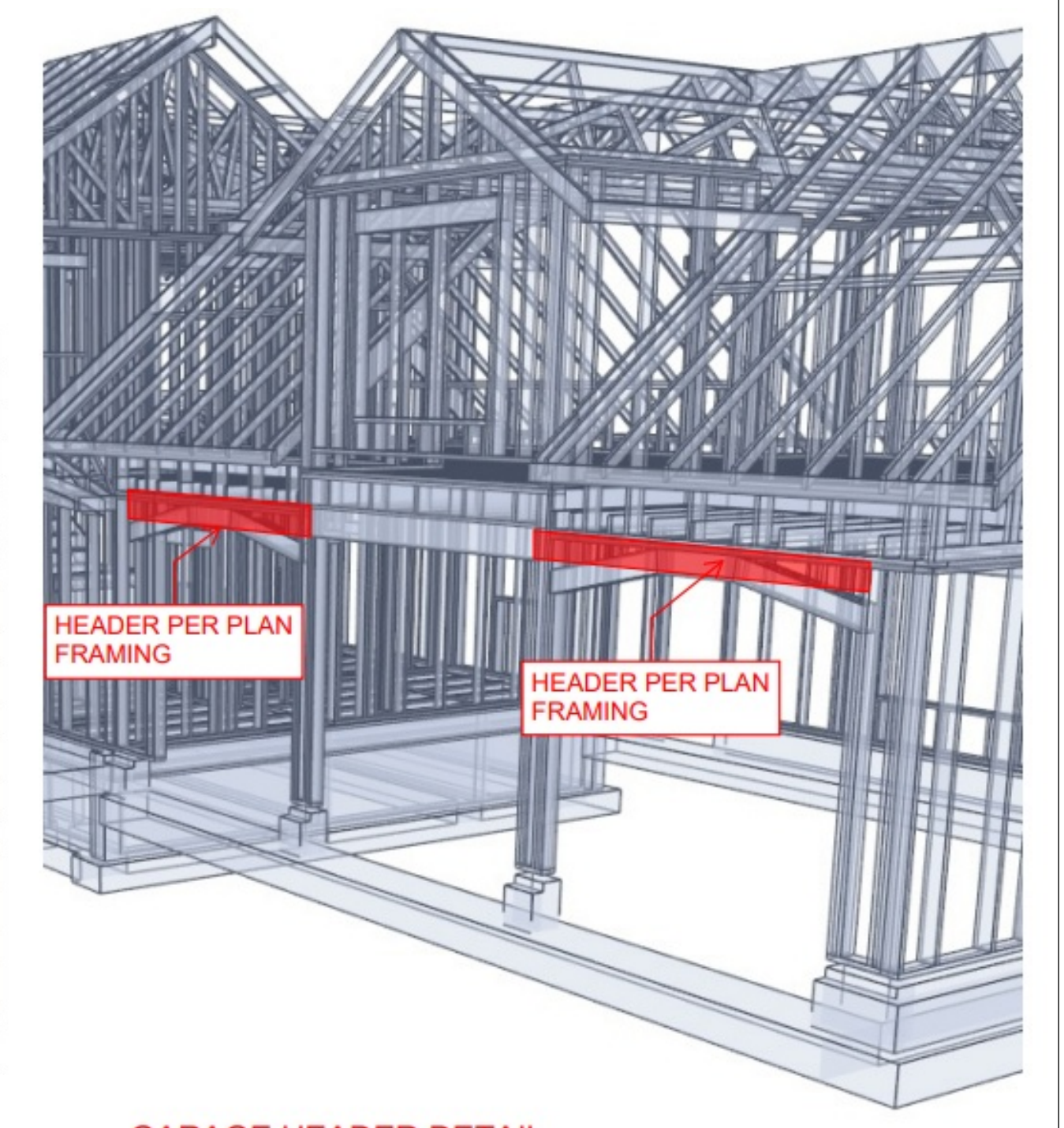
962 WAGON WHEEL
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2401 SUNRISE RIM STUDIO
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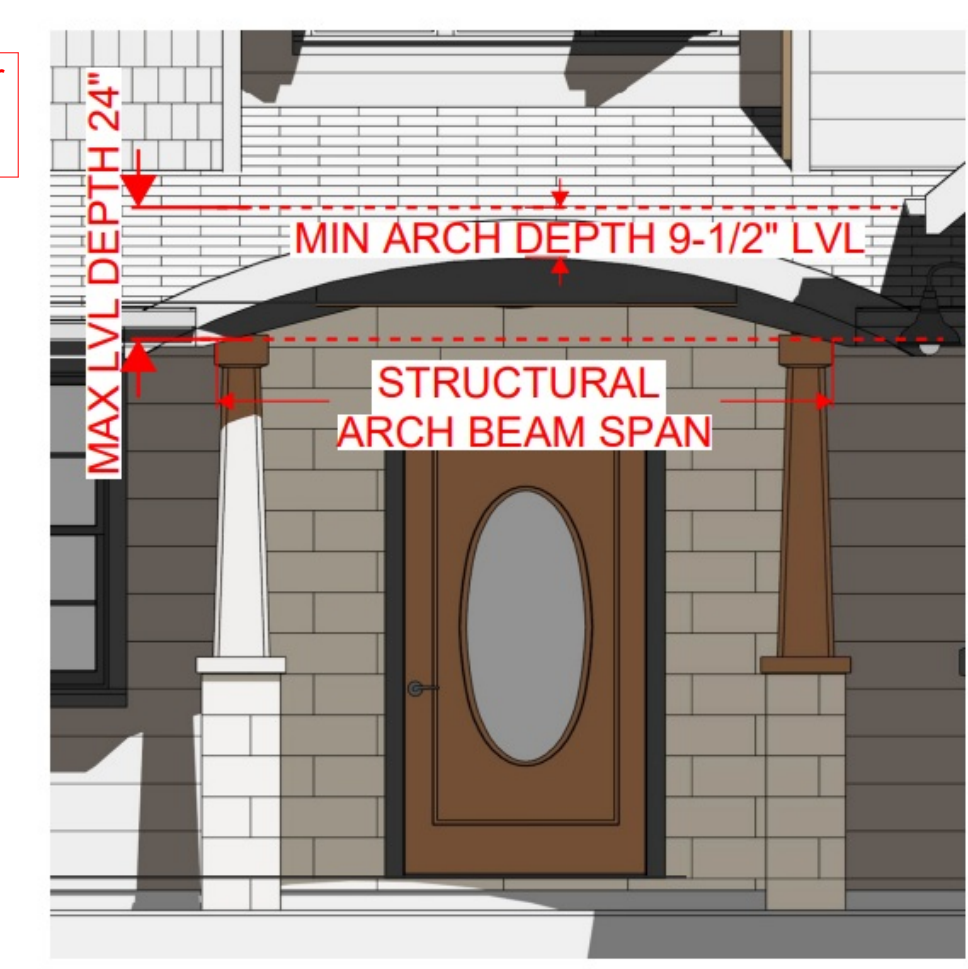
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11/29/2024

SCALE:
WHEN PRINTED ON 24" X 36" SHEET

SHEET:
P-10



GARAGE HEADER DETAIL



ARCH BEAM DETAIL

TYPICAL POCKET BEAM INTO WALL DETAIL

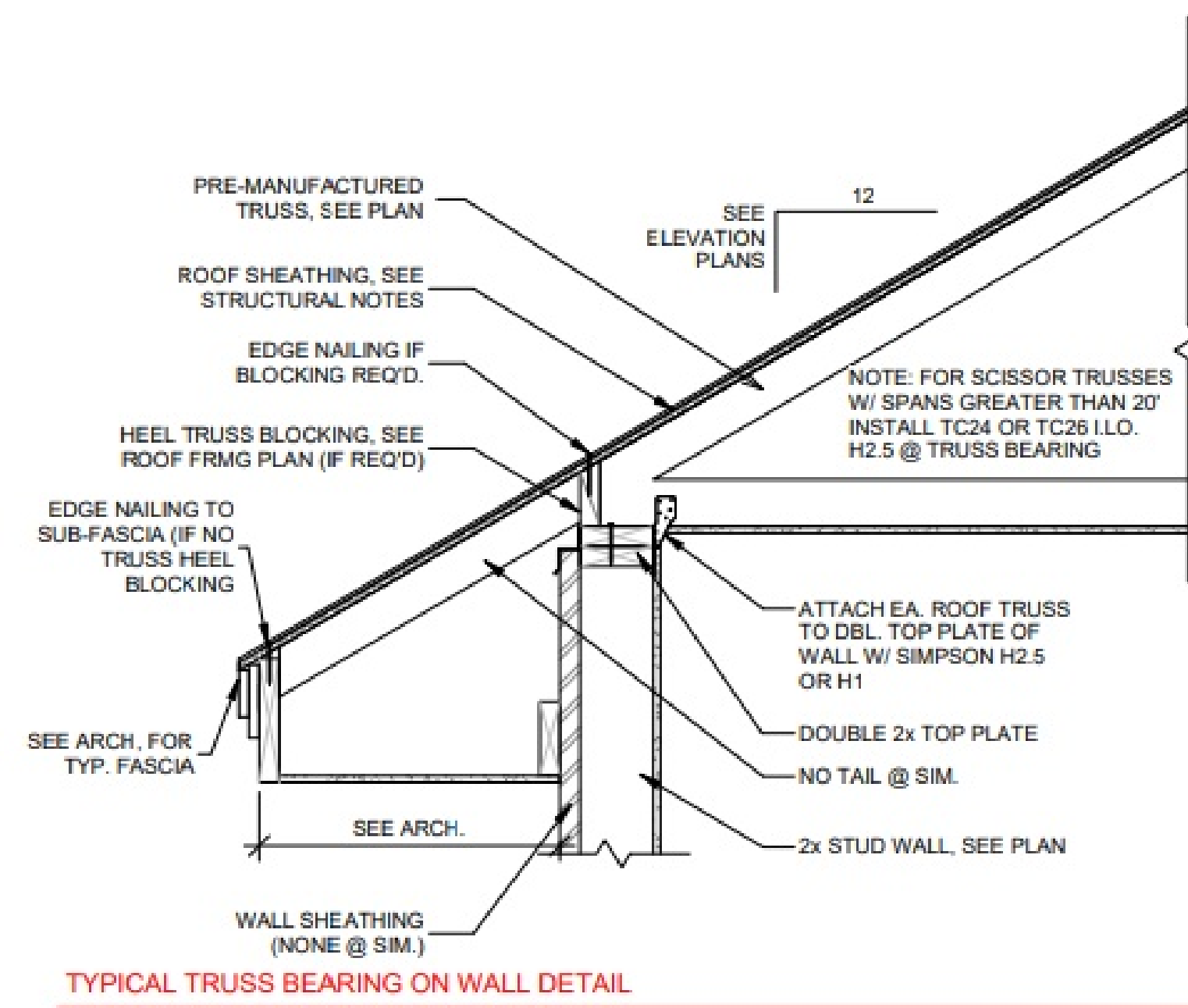
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WAGON WHEEL

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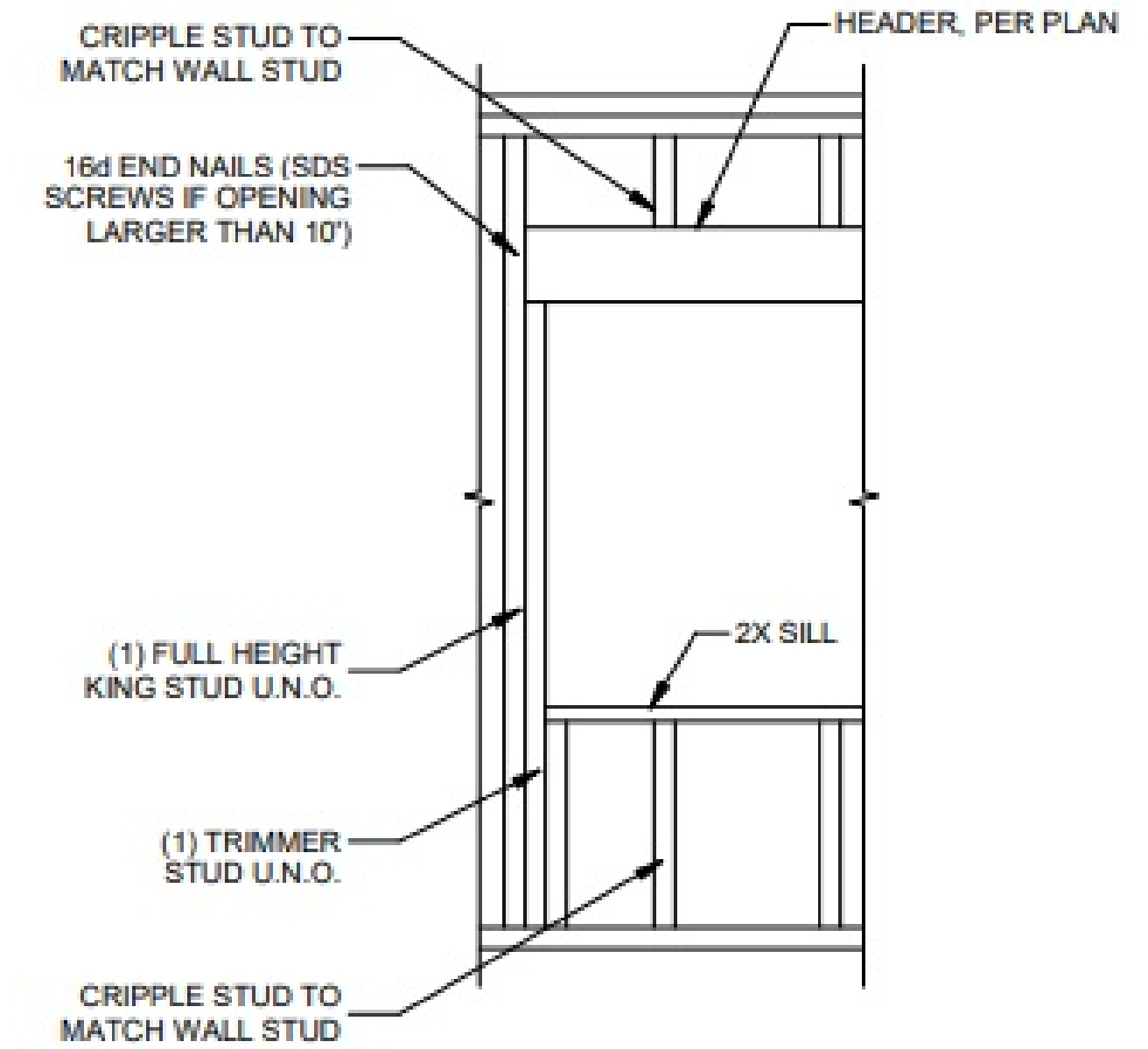
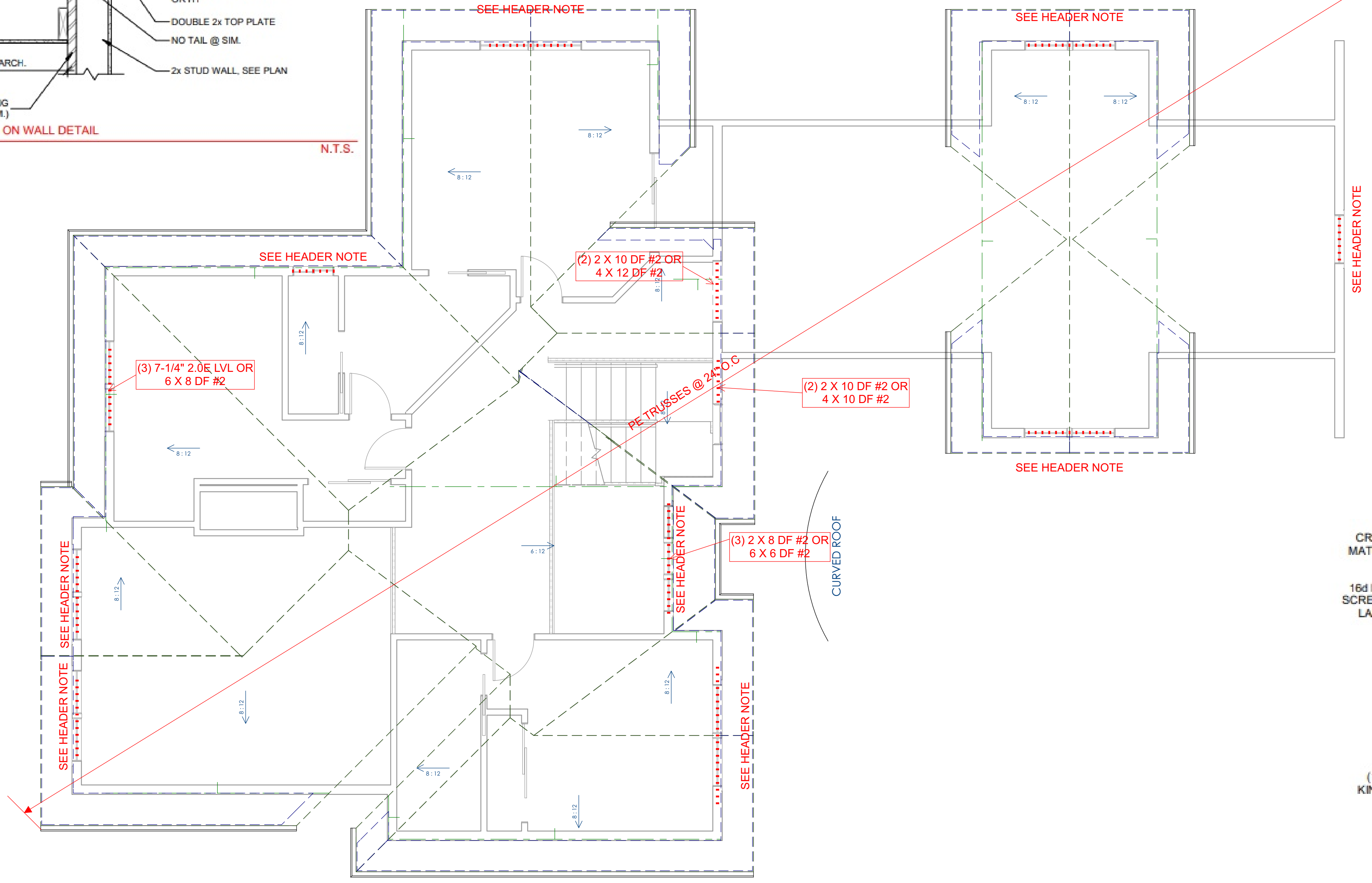
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NOTE: MIN SIZE IS SHOWN. CAN INCREASE SIZE IF SAME SPECIES AND GRADE



TYPICAL HEADER DETAIL N.T.S.

ENGINEER APPROVAL:

DESIGNER SUGGESTION THAT DRAWINGS BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

2ND LEVEL ROOF FRAMING & HEADER PLAN

962 WAGON WHEEL
MCCALL ID 83638

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11/29/2024

SCALE:

WHEN PRINTED ON 24" X 36" SHEET
1/2" = 1'

SHEET:

P-11

WAGON WHEEL



Layout Page Table	
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1	PROJECT OVERVIEW
2	SITE PLAN
3	FOUNDATION NOTES
4	FOUNDATION PLAN
5	MAIN LEVEL FLOOR PLAN
6	MAIN LEVEL FLOOR BRACING PLAN
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8	SECOND LEVEL FLOOR BRACING PLAN
9	1ST LEVEL HEADER / 2ND FLOOR BEARING PLAN
10	1ST LEVEL ROOF FRAMING & HEADER PLAN
11	2ND LEVEL ROOF FRAMING & HEADER PLAN 2246
12	ELEVATIONS 1/2
13	ELEVATIONS 2/2
14	SECTIONS
15	PROPOSED ELECTRICAL 1/2
16	PROPOSED ELECTRICAL 2/2



FRONT ELEVATION



RIGHT ELEVATION

ENGINEER APPROVAL:

DESIGNER SUGGESTION THAT DRAWINGS BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

ELEVATIONS 1/2

962 WAGON WHEEL
MCCALL ID 83638

DRAWINGS PROVIDED BY:
DRAFTING
STUDIO
2401 SUNRISE RIM
BOISE, ID 83705
208.871.6950
info@drafting-studio.com

DATE:

11/29/2024

SCALE:
WHEN PRINTED ON 24" X 36" SHEET

NO SCALE

SHEET:

P-12

WAGON WHEEL



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ENGINEER APPROVAL:

DESIGNER SUGGESTION THAT DRAWINGS BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

ELEVATIONS 2/2

962 WAGON WHEEL
MCCALL ID 83638

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SHEET:
P-13

WAGON WHEEL

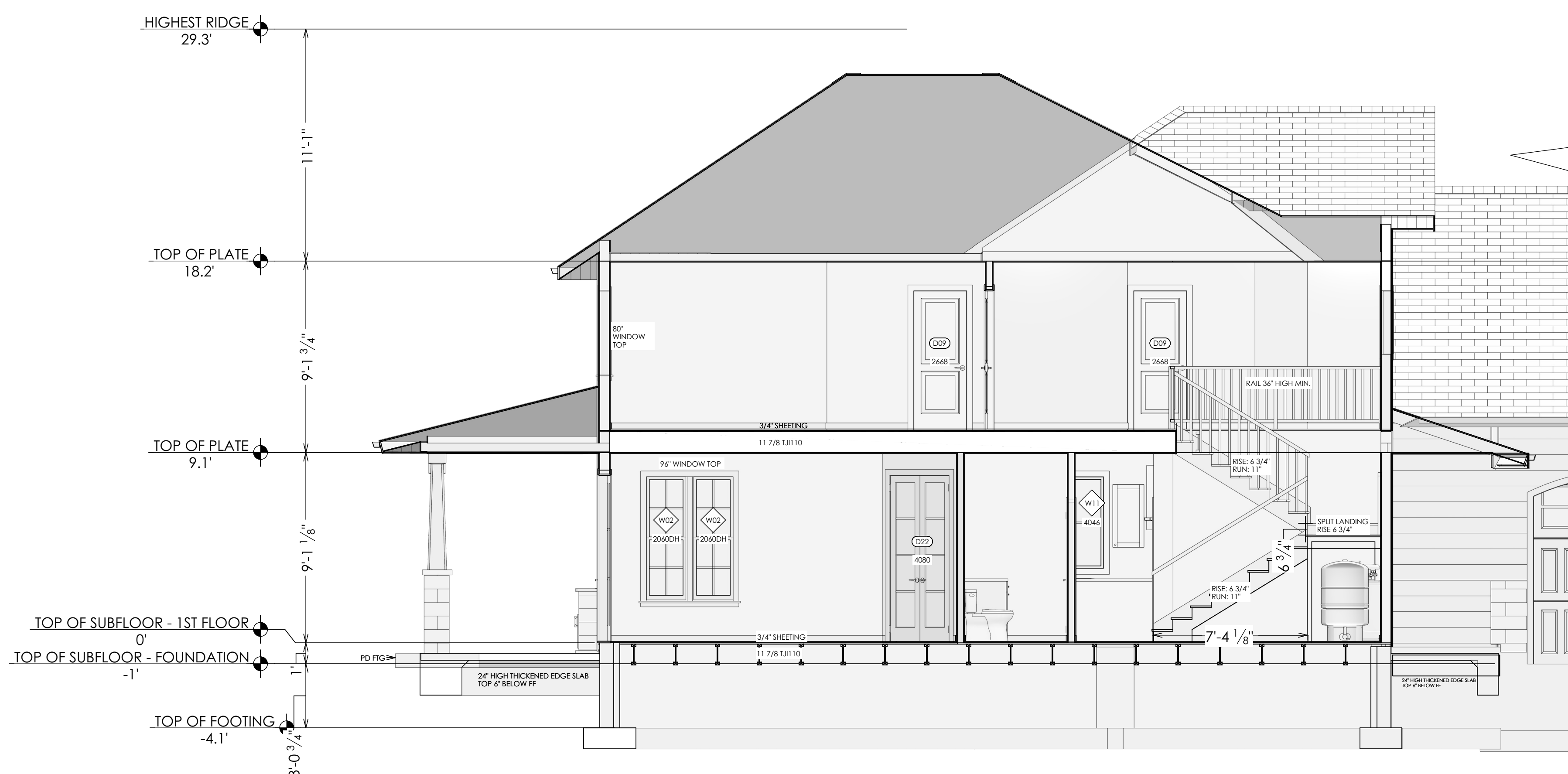


LEFT ELEVATION

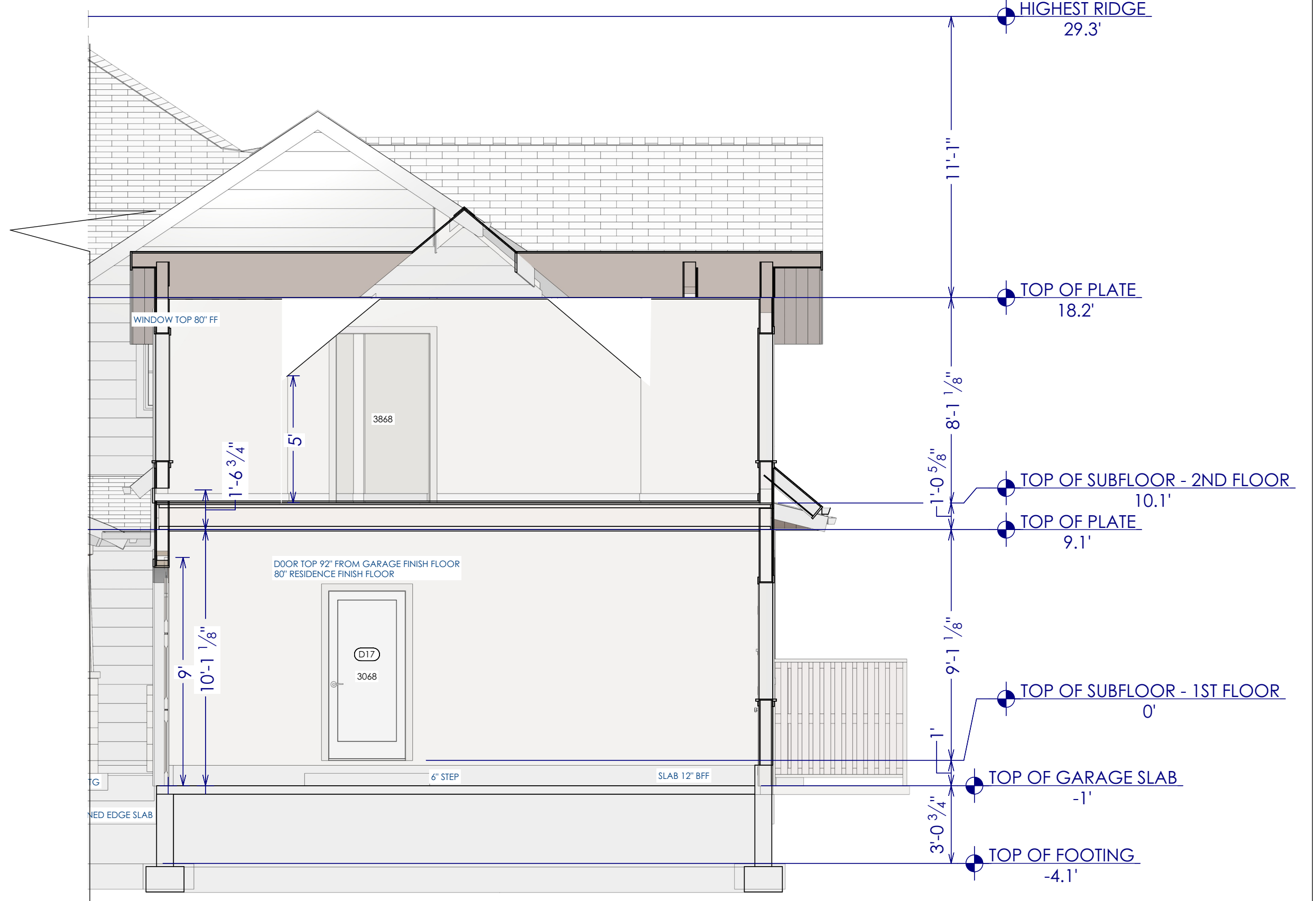


REAR ELEVATION

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Elevation 5



Elevation 7



Elevation 6



ENGINEER APPROVAL:

DESIGNER SUGGESTION THAT DRAWINGS BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

SECTIONS

962 WAGON WHEEL
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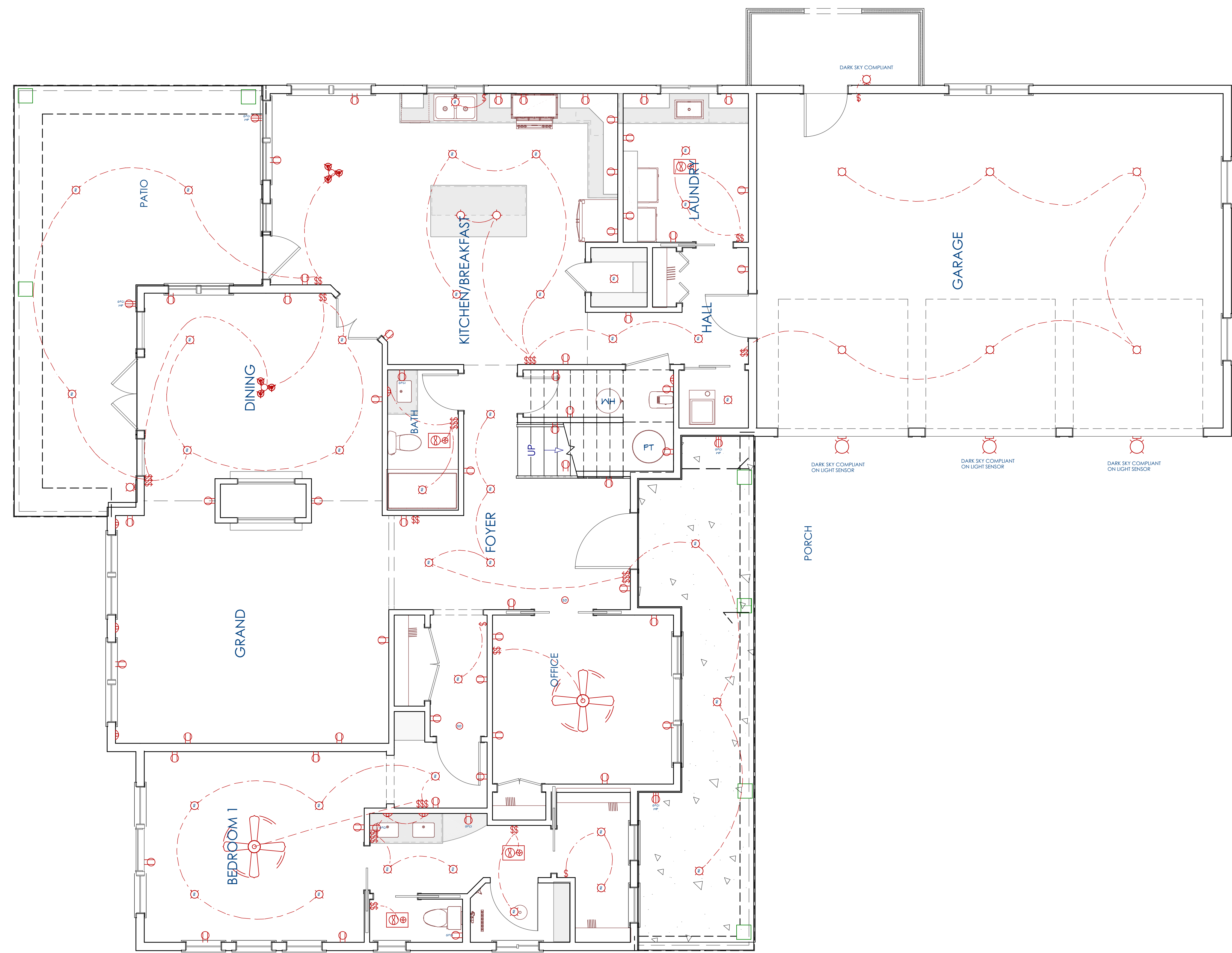
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SHEET:
P-14

WAGON WHEEL

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MECHANICAL AND ELECTRICAL NOTES:

- FURNACE DUCTS FROM THE GARAGE INTO THE DWELLING ARE TO BE A MINIMUM OF 26 GAUGE GALVANIZED SHEET METAL WITH NO OPENINGS INTO THE GARAGE, FIRE STOP AND SEAL AROUND DUCT PENETRATION.
- APPLIANCES GENERATING A SPARK, GLOW OR FLAME, INSTALLED IN GARAGES, MUST KEEP PILOTS, BURNERS, HEATING ELEMENTS AND SWITCHES A MINIMUM OF 18" ABOVE THE FLOOR.
- DRYER, KITCHEN AND BATH FANS AND GAS FIRED WATER HEATERS ARE TO BE VENTED TO THE OUTSIDE AND DISCHARGE AT LEAST 3 FEET FROM ANY OPENINGS INTO THE BUILDING.
- ALL PLUMBING VENTS TO REAR OF RIDGE
- ALL FUEL BURNING APPLIANCES MUST HAVE COMBUSTION AIR FROM OUTSIDE.
- ELECTRICAL AND SERVICE RECEPTACLES AND MECHANICAL REGISTERS SHOWN AT APPROXIMATE LOCATIONS.
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- SET ELECTRICAL AND SERVICE RECEPTACLES AT KITCHEN 3'-10" A.F.F. TO CENTER.
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- GFI ELECTRICAL RECEPTACLES AT BATH 3'-6" A.F.F. TO CENTER.
- ELECTRICAL RECEPTACLES FOR FREEZER NOT A GFI, LABE.
- DRYER TO VENT THROUGH ROOF ON ONE STORY PLANS AND TO SECOND FLOOR JOIST AND OUTSIDE WALL ON TWO STORY PLAN.
- MINIMUM OF ONE HOSE BIB TO BE ALIGNED WITH INTERIOR WALL AND SET MINIMUM OF 2'-0" ABOVE GRADE
- ELECTRICAL SERVICE METR 5'-0" AWAY FROM CORNER.

ENGINEER APPROVAL:

DESIGNER SUGGESTION THAT DRAWINGS BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

PROPOSED ELECTRICAL 1/2

962 WAGON WHEEL MCCALL ID 83638

DRAWINGS PROVIDED BY:
DRAFTING STUDIO
 2401 SUNRISE RIM
 BOISE, ID 83705
 208.871.6950
 info@drafting-studio.com

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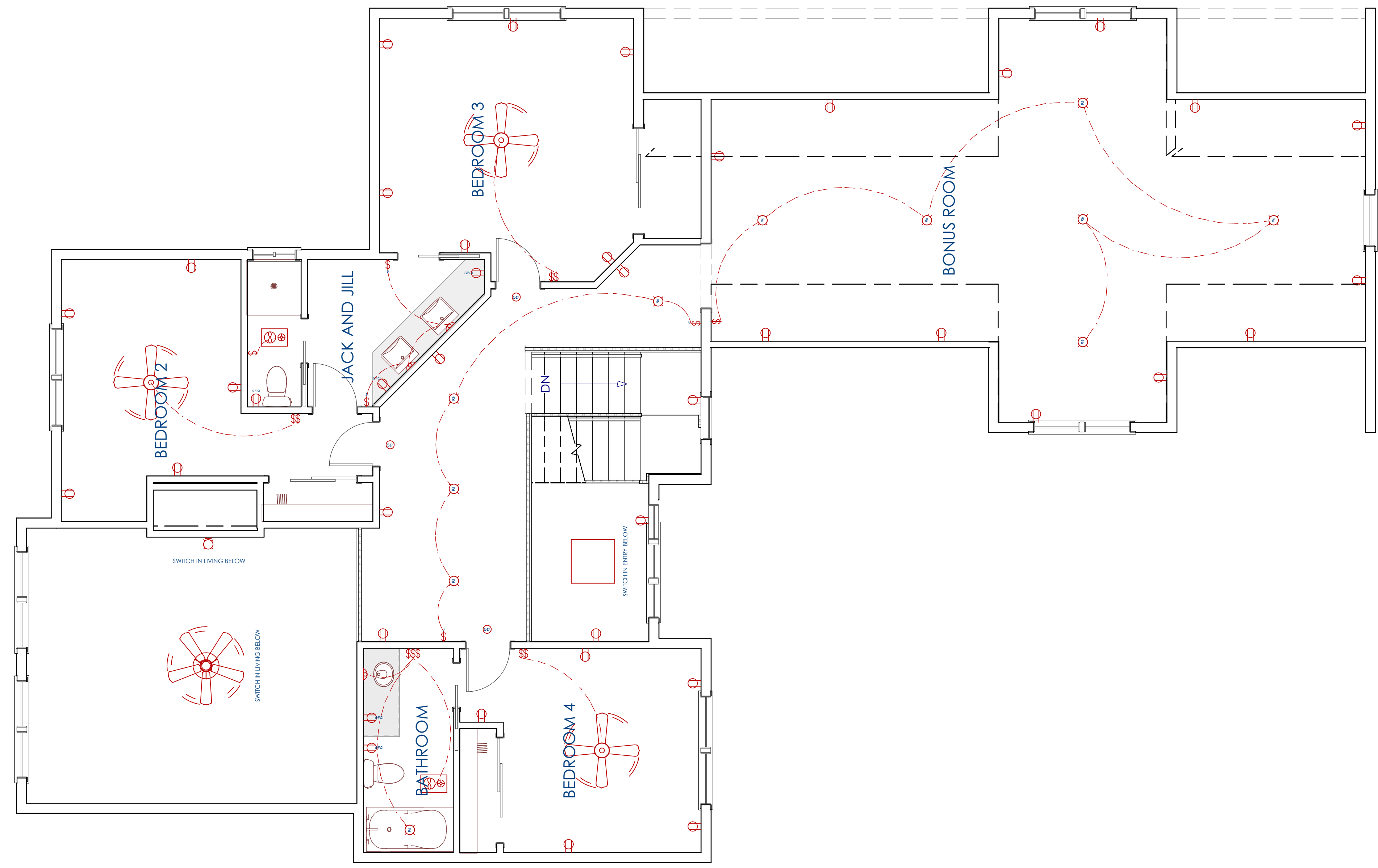
SHEET:

P-15

WAGON WHEEL



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- MINIMUM OF ONE HOSE BIB TO BE ALIGNED WITH INTERIOR WALL AND SET MINIMUM OF 2'0" ABOVE GRADE
- ELECTRICAL SERVICE METER 5'-0" AWAY FROM CORNER.
- ALL SMOKE DETECTORS TO BE HARD WIRED AND INTERCONNECTED
- ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT

ENGINEER APPROVAL:

DESIGNER SUGGESTION THAT DRAWINGS BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

PROPOSED ELECTRICAL
2/2

962 WAGON WHEEL
MCCALL ID 83638

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SHEET:

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WAGON WHEEL





City of McCall

COMMUNITY DEVELOPMENT

www.mccall.id.us

216 East Park Street
McCall, Idaho 83638

Phone 208-634-7052

Main 208-634-7142

Fax 208-634-3038

Distribution Memorandum

Date: November 7, 2024

To: City of McCall

Airport

Community and Economic Development

Finance

Information Systems

Parks and Recreation

Police

Public Works

Valley County

Assessor's Office

County Surveyor

Parks and Recreation

Planning and Zoning

Road & Bridge

State

Central District Health Department

Idaho Department of Environmental Quality

Idaho Department of Lands

Idaho Fish and Game

Idaho Transportation Department

Idaho Transportation Department, Division of
Aeronautics

Other

Big Payette Lake Water Quality Council

Idaho Power Company

McCall Fire Protection District

Payette Lakes Recreational Water and Sewer
District

A complete list of individual recipients is available upon request.

From: Meridith Todd, City & Sustainability Planner

DR-24-24, SH-24-12: 962 Wagon Wheel Rd – Doug Wilkinson of Hawk Inc for Michael Thomas

An application for Design Review and Shoreline Review to construct a 3966 square feet of living space and an 800 square foot attached garage, adjacent to Payette Lake. The property is zoned R4 – Low Density Residential and is more particularly described as:

Lot 146 of the Amended Payette Lake Cottage Sites situate in the N ½ of Section 33, T19N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Planning and Zoning Meeting Date: December 3rd, 2024

Comments Deadline: **November 21, 2024**

Your comments are appreciated and the applicant will be required to satisfy all comments prior to approval. If you would like your comments to be incorporated to any Planning and Zoning documents please send me your comments by the date indicated above. If you have questions or concerns regarding the application, please contact the Meredith Todd at 208-634-4168 or mtodd@mccall.id.us



City of McCall

Design Review Application

Date: 10/22/2024

Applicant / Additional Billing Contact / Owner

Applicant Name: ECT JRT CO - Michael Thomas

Address:
City, State, Zip:
Phone:
Email:

Addl Billing Contact: Hawk, Inc
Address: 495 Deinhard Ln #1810
City, State, Zip: McCall, ID 83638
Phone: 208-315-4967
Email: office@hawkestates.com

Owner of Record Name: Eugene C. & Jody Thomas Trust
Address: 1101 S Brentbrook Ln
City: Eagle
State: ID
Zip: 83638
Phone: 208-841-3223
Email: michaelenethomas@gmail.com
Invoice Email:

Owner of Record 2:
Address:
City:
State:
Zip:
Phone:
Email:
Invoice Email:

Property

Site Address: 962 Wagon Wheel Rd
Legal Desc.:
Zoning District: R4

Area: City Limits
Sewer: Payette Lakes Recreational Water and Sewer
Square Footage: 29997

Contractor

Contact Name: Doug Wilkinson - Hawk Inc
Business Name:
McCall License #:
Mailing Address:

Email: office@hawkestates.com
Phone: 208-315-4967
Idaho #:

Annexation Information

Annex Request:
Adjoining Land Use:
Parcel Split:
Parcel Adjoin:

Valley County:
Conditional Use:
Project Type: Residential
Water: Well
Neighbor Meeting:

Description: Construction of a two-story single-family residence with an associated gravel driveway.

Companion Applications

Record of Survey:	<input checked="" type="checkbox"/>	Subdivision (Final Plat):	<input type="checkbox"/>
Design Review:	<input checked="" type="checkbox"/>	Subdivision Minor Plat Amendment:	<input type="checkbox"/>
Scenic Route View:	<input type="checkbox"/>	Variance:	<input type="checkbox"/>
Shoreline and River Environs Review:	<input type="checkbox"/>	Rezone/Future Land/Comprehensive:	<input type="checkbox"/>
Conditional Use:	<input type="checkbox"/>	Zoning Code Amendment:	<input type="checkbox"/>
Development Agreement:	<input type="checkbox"/>	Annexation:	<input type="checkbox"/>
Planned Unit Develop (Prelim Plat):	<input type="checkbox"/>	Vacation:	<input type="checkbox"/>
Planned Unit Develop (Final Plat):	<input type="checkbox"/>	Land Use:	<input type="checkbox"/>
Subdivision (Prelim Plat):	<input type="checkbox"/>		

Details

Existing Cover:	0	Res Parcels:	
Proposed Cover:	5388	Comm Parcels:	
Open Space Sq.Ft.:	24599	Engineer Name:	
# of Parking:	0	Engineer Email:	
Max Grade %:	7	Engineer Phone:	
Average Grade %:	5	Pre-App Date:	
Total Acreage:	1	Condominiums:	
Zoned Density:	0	Townhomes:	
Proposed Density:	0	PUD Name:	
Total Exist Lot:	0	Architect Name:	
Total Proposed Lot:	0	Architect Email:	
Min Lot Frontage:	0	Architect Phone:	
Min Lot Size:	0	Proposed Uses:	
Surveyor Name:		Scenic Frontage:	
Surveyor Email:		# of New Trees:	
Surveyor Phone:		# of New Shrubs:	
Subdivision Name:		Floodplain:	
Existing Parcels:	0	Shoreline Frontage:	
Proposed Parcels:	0	High Water Mark:	
New Construction	5388		
Sq Ft:			

Sign

Proposed color palette:
Total signage area existing:
Total signage area proposed:
Length of street facing wall in linear feet:
Length of property frontage in linear feet:
If multiple frontages, please add lengths from street 2:
Sign Company:
Proposed Lighting:

I do hereby certify that the information contained herein is true and correct.

Doug Wilkinson

Name

10/22/2024

Date

APPLICATION PROJECT INFORMATION



REQUIRED PROJECT INFORMATION

If you do not know an allowable amount, refer to the [Residential Development Guide](#) or contact a building/planning staff member prior to submitting your application.

Allowable Lot Coverage

Lot Area in square feet: 29,987
Lot Coverage % Allowed: 21.75%

Lot Coverage Allowed: 6,522

(ex: lot area is 10,000 sq ft and percentage allowed is 30% - multiply 10,000 x .30 = 3,000 sq ft lot coverage allowed)

Proposed Lot Coverage

Footprint of existing structures: 0 ft²

Footprint of proposed structures: 3,668 ft²

Total Structure footprint: 3,668 ft²

Area of existing uncovered decks, Patios, walkways, plazas, etc. 0 ft²

Area of new uncovered decks, Patios, walkways, plazas, etc. 0 ft²

Total decks, etc. area 0 ft²

Multiply Total Decks, etc. area times 50% (.50) of actual= 0 ft²

Existing driveways, parking, etc. 0 ft²

Proposed driveways, parking, etc. 3,997 ft²

Total driveway area 3,997 ft²

Multiply Total driveway area times 35% (.35) of actual= 3,997 ft²

Total Proposed Lot Coverage: 5,067
(sum of red boxes)

Proposed Building Size

Occupied space (existing) 0

Unoccupied space (existing garage) 0

Covered exterior space (existing) 0

Occupied space (new) 3,966

Unoccupied space (new garage) 800

Covered exterior space (new) 622

Total Proposed Building Size: 5,388

(If over 3500 ft² stop and contact the City Planner's office for Design Review prior to building permitting.)

STORMWATER APPLICATION
City of McCall

Fill in all information. Submit one copy of signed application and three copies of Stormwater Management Plan/Report to the City Engineer.

1. Project Name: _____
Location: _____

2. Owner's Name: _____
Street: _____ City: _____
State: _____ Zip Code: _____ Phone: _____

3. Project Description: _____

 - a. Total property area, in acres. _____
 - b. Proposed impervious surface (asphalt, rooftop, concrete, sidewalk, etc.) in square feet. _____

 - c. Describe existing vegetation present on site. _____

 - d. Start date of construction. _____
 - e. Estimated length of time to complete improvements. _____

4. Stormwater Management Plan/Report attached? Yes No

5. Circle the section of the Stormwater Management Plan/Report Checklist which are applicable to project.
A B C D E F

6. Party responsible for operation and maintenance of project, including maintenance of temporary and permanent Best Management Practices:

			10/20/24
_____	_____	Signature	Date
Name	Title		
<hr/>			
_____	Daytime Phone	After Hours Phone	
Address			

Do not write below this line.

This Stormwater Management Plan/Report is:

Approved: _____

Not Approved: _____

Approved, with conditions: _____

By The City of McCall

_____	_____	Signature	Date
Representative	Title		



PAYETTE LAKES RECREATIONAL WATER AND SEWER DISTRICT

201 Jacob Street • McCall, Idaho 83638 • office 208-634-4111 • fax 208-634-7613

November 21, 2024

Meredith Todd
City of McCall
216 East Park Street
McCall, Idaho 83638

RE: DR-24-24, SH-24-12: 962 Wagon Wheel RD.

Meredith:

Payette Lakes Recreational Water and Sewer District (District) has reviewed the proposed project at the above-referenced address and has the following comments.


1. There is a sewer connection for the existing structure or lot and manhole(s) in the area of construction. The sewer service connection and manhole(s) shall be protected from damage during the demolition of the existing structures and construction of the proposed structure to prevent excessive water, or debris from entering the sewer system. Failure to do so will result in the owner/contractor being responsible for any cost incurred by the district for cleaning or removing debris that enters the sewer system.
2. Inflows of surface water and excessive are prohibited. Such prohibited sources of Inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day. Stormwater connections, sub-water drains, floor drains located within garages, foundations drains, roof drains, swimming pools, street drains, basement drains, sump pumps, and abandoned sewer lines.
3. The owner/contractor shall notify the District two(2) business days before connecting to the sewer stub.

Please contact me should you have any questions.

Best Regards,

A handwritten signature in black ink, appearing to read "Jeff Bateman".

Jeff Bateman
Manager, Payette Lakes Recreational Water and Sewer District
Email: jbateman@plrwsd.org



DR-24-25, SH-24-11
LOWE RESIDENCE
ADDITION
2191 Lakeview Dr

McCall Area Planning & Zoning Commission
Staff Report
December 3, 2024

Executive Summary

Description

An application for Design Review and Shoreline Review to construct a 424 square foot addition to an existing residence, adjacent to Payette Lake. The additions are proposed to provide a covered entry area over the currently uncovered entry, as well as add bedroom, storage, and other livable space. The new structure size will total 2,835 square feet.

Discussion

- The applicant is proposing to construct an addition to an existing single-family residence.
- The existing residence and a detached deck encroach into the 50' foot setback from the shoreline of Payette Lake. The proposed addition is planned upland of the 50' foot setback, where expansion will not increase the existing non-conformities, and is eligible for a one time extension of the structure to a degree no greater than a 25% increase from the existing structure size.
- The site plan does not quantify the snow storage areas, however enough appears to be available. McCall Code Section 3.8.15(B) requires a minimum of 33% of the parking, sidewalk, and driveway area to be identified for snow storage. The site appears to be large enough to accommodate snow storage. The proposed revised driveway size will increase from 4,087 square feet to 4,540 square feet. Prior to the issuance of a building permit, the applicant should provide a revised site plan showing a minimum of one (1) square foot of snow storage area for every three (3) square feet of parking, sidewalk, and driveway area.
- The site plan does not identify any change to landscaping, pedestrian access, or BMPs in the 50-foot setback of the shoreline.

Potential Motions Regarding DR-24-25, SH-24-11:

1. "I move to approve DR-24-25, SH-24-11 with the staff recommended conditions of approval."
2. "I move to approve DR-24-25, SH-24-11 with the staff recommended conditions of approval with the following modifications: _____."
3. "I move to continue DR-24-25, SH-24-11 to the _____ meeting to allow time for staff and the applicant to provide more information on the following: _____."

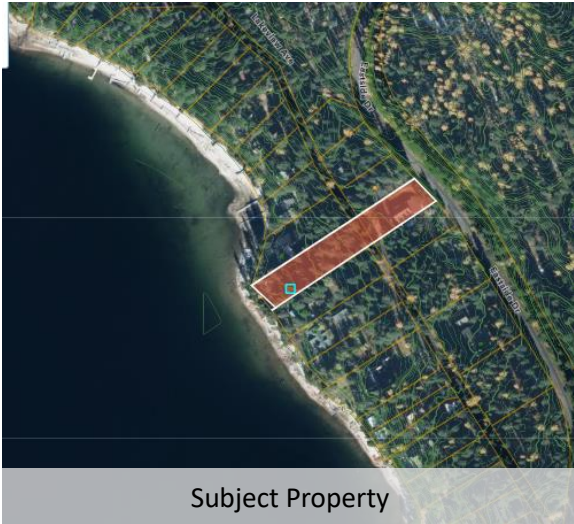
Conditions of Approval

	Prior to	Condition	Recommended Contact
1.	The issuance of a building permit	The applicant shall receive final engineering approval	Staff Engineer
2.		The applicant shall provide a revised site plan identifying a minimum of one (1) square foot of snow storage area for every three (3) square feet of parking, sidewalk, and driveway area.	City Planner
3.	The issuance of a certificate of occupancy	The applicant shall reseed all disturbed areas with native grasses or wildflowers	Building Official

Expirations

1. Pursuant to McCall Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Project Location



Subject Property



Current Zoning



Future Land Use

Project Analysis

Description

An application for Design Review and Shoreline Review to construct a 424 square foot addition to an existing residence, adjacent to Payette Lake. The additions are proposed to provide a covered entry area over the currently uncovered entry, as well as add bedroom, storage, and other livable space. The new structure size will total 2,835 square feet.

Zoning District:	R4 – Rural Residential
Comprehensive Plan Designation:	Low Density Residential (Agriculture Forest Adjacent)
Project Acreage:	0.88 acres
Proposed Use:	Single Family Residence
Jurisdiction:	McCall Impact Area

Legal Description

Lot 3 of the Harris Cove Subdivision situate in the S½ of Section 35, T19N, R3E, B.M., Valley County, Idaho.

Associated Documents

Application	Most Recent Revised Submittal Date
Land Use Application	October 21, 2024
Building Plans	October 22, 2024
Existing Conditions Survey	October 21, 2024
Stormwater Drainage Report	Pending

Public Noticing

Notice Type	Notice Date
Publication in the <i>Star News</i>	November 14, 2024
Mailing to property owners within 300 feet	November 19, 2024
Posting of the subject property	November 15, 2024

Dimensional Standards

	Proposed	Required
Front Setback	283.8-feet	Greater than 25-feet
Rear Setback	31.5 feet (Existing, No Change)	Greater than 50-feet (Shoreline)
Side Yard Setback 1 (N)	3.56-feet (Existing, No Change)	Greater than 10-feet, 0-inches
Side Yard Setback 2 (S)	51.38-feet	Greater than 15-feet, 0-inches
Eave Height 1	Existing for minimum Setback	Less than 35-feet, 0-inches
Eave Height 2	Existing for minimum Setback	Less than 35-feet, 0-inches
Both Side Setbacks must add up to:	Greater than 55-feet	Greater than 20-feet
Lot Coverage (square-feet)	3,854 square-feet	Less than 7,642 square-feet
Lot Coverage (percent)	10.3%	Less than 20.47 %
Snow Storage	Not quantified	Greater than 1,514 square-feet
Building Height	22-feet, 6-inches	Less than 35-feet
Structure Size	2,835 square-feet	Less than 10,000 square-feet

Code Sections of Interest

- McCall Code Section 3.8.015: Snow Storage:
 - (A) Where snow removal and storage may pose a problem to traffic circulation or reduce the amount of adequate parking for winter business, the developer of the property shall designate a snow storage area and remove snow as necessary.
 - (B) Required Area: Snow storage areas not less than thirty-three percent (33%) of the parking, sidewalk and driveway areas shall be incorporated into the site design.
 - (C) Location:
 1. Snow storage may only use landscape areas that are planted with salt tolerant and resilient plant materials that can tolerate the weight of stacked snow.
 2. Snow storage may use up to thirty-three percent (33%) of the required parking areas.
 3. Snow storage areas shall be located to avoid piling of snow against existing significant trees.
 - (D) See also the requirements of sections 3.3.041 and 9.3.08 of this code

Required Findings Code Sections:

- McCall Code Section 3.3.09: Residential Zone Design Review Standards:
 - (A) Purpose: To ensure that the McCall area's built environment complements McCall's natural environment, scenic mountain setting, and historic, small town character.
 1. To support development that is residential in character and compatible with its surrounding neighborhood.
 2. To preserve natural features, including waterways, open space, trees, native vegetation, and wildlife habitat and corridors.
 3. To promote active and safe streetscapes in residential neighborhoods that are conducive to walking and biking.
 - (B) Applicability: The design standards apply to accessory dwelling units, multifamily residential developments of three (3) or more units and single-family residential dwelling units greater than three thousand five hundred (3,500) square feet.
 - (C) Residential Design Standards:
 1. Building Scale: The building shall be in scale with the site conditions and surrounding structures. Appropriate scale can be accomplished through the following:

- a. The principal structure on the site is the dominant element.
 - b. Building massing and scale is responsive to the site conditions, including views through and of the site, and existing vegetation. Development that is designed to complement rather than dominate the natural landscape.
 - c. Variations in wall planes and roof lines are incorporated to minimize the apparent scale of the building.
 - d. Porches, balconies, decks and terraces that strengthen the residential scale and character of the building.
2. Building Design: Building designs shall enhance and/or continue the styles found in the McCall area with allowance for new interpretations of historic details. Local natural building materials, roof overhangs, covered porches and entrances, simplicity of design, and segmented windows are elements of the McCall style. Building designs that are in keeping with the McCall style include the following:
- a. Materials:
 - i. Natural looking exterior materials looking siding and decking materials that resist heat and flames, including: composite decking, cement, plaster, stucco, masonry (such as stone brick or blocks) and fiber-cement siding, soffit, and trim products.
 - ii. Use of stones that convey the appearance of a structural element rather than a veneer facing.
 - iii. Metal when used in combination with natural materials.
 - b. Roofs:
 - i. Roofs that compliment and respond to the mountain setting and heavy snow environment.
 - ii. Hipped, pitched, shed and gabled roofs.
 - iii. Roofs designed to prevent snow or ice from shedding directly onto a pedestrian walkway, access or adjacent property.
 - iv. Class A fire rated roof assemblies.
 - c. Exterior Color:
 - i. Exterior wall colors that tend toward earthy warm hues, with accent colors kept to a minimum of two (2) and used to highlight entrances.
 - ii. No harshly contrasted color combinations, brilliant, luminescent or day-glow colors on exterior finishes.
 - d. No blank walls shall face street frontages, including blank or unarticulated garage doors.
 - e. Decks and balconies shall be designed to handle snow and drift loads including snow shedding from roof overhangs above.
- McCall Code Section 3.16.07: Design Review Criteria:
The commission or administrator shall determine the following before approval is given:
 - (A) The project is in general conformance with the comprehensive plan.
 - (B) The project does not jeopardize the health, safety or welfare of the public.
 - (C) The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance as enumerated in section 3.16.01 of this chapter.
 - (D) The project will have no substantial impact on adjacent properties or on the community at large.
 - (E) If applicable, a subdivision design review document has been reviewed and approved by the commission in lieu of the design guidelines.
 - (F) For projects in the shoreline and river environs zone, the project will not have an unreasonable and adverse impact on the visual quality of its setting or the water quality.

(G) For projects in the scenic route zone, the project will preserve and enhance the scenic quality of the street or highway. (Ord. 821, 2-23-2006, eff. 3-16-2006; amd. Ord. 998, 1-14-2021)

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:

McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.

- Deep Dive – Future Land Use Designations – Low Density Residential:

This land use designation is intended to provide for the development of low-density single-family residential neighborhoods. These neighborhoods consist of larger home sites. *Implementing Zoning Districts: R-4*

Discussion

- The applicant is proposing to construct a small addition to an existing single-family residence that is encroached into the 50’ foot setback from the Shoreline of Payette Lake. The subject application and proposed expansion follows the guidelines for non-conforming development outlined in McCall Code Section 3.11.07 with regards to Shoreline areas.
- The site plan does not quantify snow storage areas. But appears to have adequate space available. A Revised site plan should be provided with at least 1,514 square feet of snow storage area identified.
- A Stormwater Application has not been submitted for engineering review, however, the size of the addition and scale of additional development should be small enough for the Stormwater plan to be reviewed and meet Drainage Management Guidelines through the Engineering Approval process with the City Engineer.

Comments

Agency

- City of McCall Public Works

In an email dated November __, 2024, the City Engineer provided the following **comments:**

Public

- Jim Cross commented in support of the project

Actions

Potential Motions Regarding DR-24-25, SH-24-11:

1. “I move to approve DR-24-25, SH-24-11 with the staff recommended conditions of approval.”
2. “I move to approve DR-24-25, SH-24-11 with the staff recommended conditions of approval with the following modifications: _____.”
3. “I move to continue DR-24-25, SH-24-11 to the _____ meeting to allow time for staff and the applicant to provide more information on the following: _____.”

Conditions of Approval

	Prior to	Condition	Recommended Contact
4.	The issuance of a building permit	The applicant shall receive final engineering approval	Staff Engineer

5.		The applicant shall provide a revised site plan showing a minimum of one (1) square foot of snow storage area for every three (3) square feet of parking, sidewalk, and driveway area.	City Planner
6.	The issuance of a certificate of occupancy	The applicant shall reseed all disturbed areas with native grasses or wildflowers	Building Official

Expirations

1. Pursuant to McCall Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Prepared by:



Meredith Todd, City & Sustainability Planner

From: [Morgan Stroud](#)
To: jlowe14@comcast.net
Cc: [Meredith Todd](#); [Rachel Santiago-Govier](#)
Subject: DR 24-25 - 2191 Lakeview Ave - Engineering Items Missing
Date: Thursday, October 24, 2024 12:04:00 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)

Hi John,

I met with Meredith and Rachel this morning to discuss the new applications submitted. During the assessment of the materials submitted for **2191 Lakeview Ave**, it was observed that some engineering components were missing.

1. No stormwater items were submitted for review.
 - a. Stormwater requirements **under 5,000 square feet** of impervious:
 - i. Completed and signed stormwater application (note that this property is in the shoreline, and requires the responsible party to have a stormwater certificate)
 - ii. Stormwater drainage report that covers sections A,B, and F of the Stormwater Management Checklist (begins on page 11 in DMG's)
 - a. I have a rough template where you can fill in information. If you would like a copy of this template, please let me know.
 - iii. A site/grading plan showing temporary BMP's.
 - a. Supporting links for Stormwater items above:
 - i. Stormwater Application:
<https://evogov.s3.amazonaws.com/141/media/115535.pdf>
 - ii. Drainage Management Guidelines:
<https://evogov.s3.amazonaws.com/141/media/115536.pdf>
 - iii. Stormwater Design Criteria Resolution 16-10:
<https://evogov.s3.amazonaws.com/141/media/115537.pdf>
 - iv. DEQ BMP Catalog:
<https://www2.deq.idaho.gov/admin/LEIA/api/document/download/14968>
 - v. GIS Application with 2ft contours as optional layer for site/grading plan -
<https://mccall.maps.arcgis.com/apps/webappviewer/index.html?id=3ecba344abc24c7a8018307dd72f71ab>

Without the items above not being submitted, this application is incomplete and will be unable to move forward to a Planning and Zoning hearing. If the item above is submitted prior to November 8th, the application can remain on the December agenda. Please send the requested information once you have it so the review on the application can continue.

Thank you,

Morgan Stroud, PE
City Engineer



(D) 208.634.3458

www.mccall.id.us/engineering

Book Time with me for:



[Engineering Questions & Concerns](#)



[Land Use Questions for Planning & Engineering](#)



City of McCall

COMMUNITY DEVELOPMENT

www.mccall.id.us

216 East Park Street
McCall, Idaho 83638

Phone 208-634-7052

Main 208-634-7142

Fax 208-634-3038

Distribution Memorandum

Date: November 7, 2024

To: City of McCall

Airport

Community and Economic Development

Finance

Information Systems

Parks and Recreation

Police

Public Works

Valley County

Assessor's Office

County Surveyor

Parks and Recreation

Planning and Zoning

Road & Bridge

State

Central District Health Department

Idaho Department of Environmental Quality

Idaho Department of Lands

Idaho Fish and Game

Idaho Transportation Department

Idaho Transportation Department, Division of
Aeronautics

Other

Big Payette Lake Water Quality Council

Idaho Power Company

McCall Fire Protection District

Payette Lakes Recreational Water and Sewer
District

A complete list of individual recipients is available upon request.

From: Meredith Todd, City & Sustainability Planner

DR-24-25, SH-24-11: 2191 Lakeview Avenue – John Lowe for Lowe Lakeview LLC

An application for Design Review and Shoreline Review to construct a 424 square foot addition to an existing residence, adjacent to Payette Lake. The property is zoned R4 – Low Density Residential and is more particularly described as:

Lot 3 of the Harris Cove Subdivision situate in the S½ of Section 35, T19N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Planning and Zoning Meeting Date: December 3rd, 2024

Comments Deadline: **November 21, 2024**

Your comments are appreciated and the applicant will be required to satisfy all comments prior to approval. If you would like your comments to be incorporated to any Planning and Zoning documents please send me your comments by the date indicated above. If you have questions or concerns regarding the application, please contact the Meredith Todd at 208-634-4168 or mtodd@mccall.id.us



City of McCall

Design Review Application

Date: 10/19/2024

Applicant / Additional Billing Contact / Owner

Applicant Name: Lowe Lakeview LLC
Address:
City, State, Zip:
Phone:
Email:

Addl Billing Contact: John S. Lowe
Address: PO Box 2272
City, State, Zip: McCall, ID 83638
Phone: 5056886834
Email: jlowe14@comcast.net

Owner of Record Name: Lowe Lakeview LLC
Address: 449 Live Oak Loop NE
City: Albuquerque
State: NM
Zip: 87122
Phone: 5056886834
Email: jlowe14@comcast.net
Invoice Email:

Owner of Record 2:
Address:
City:
State:
Zip:
Phone:
Email:
Invoice Email:

Property

Site Address: 2191 Lakeview Ave
Legal Desc.: Lot 3 Harris Cove, Valley
County
Zoning District: R4

Area: Impact Area
Sewer: Payette Lakes Recreational
Water and Sewer
Square Footage: 37332

Contractor

Contact Name: John S. Lowe - Managing
Member
Business Name:
McCall License #:
Mailing Address:

Email: jlowe14@comcast.net
Phone: 5056886834
Idaho #:

Annexation Information

Annex Request:
Adjoining Land Use:
Parcel Split:
Parcel Adjoin:

Valley County:
Conditional Use:
Project Type: Residential
Water: Other Lake
Neighbor Meeting:

Description: 2 story addition

Companion Applications

Record of Survey:	<input type="checkbox"/>	Subdivision (Final Plat):	<input type="checkbox"/>
Design Review:	<input type="checkbox"/>	Subdivision Minor Plat Amendment:	<input type="checkbox"/>
Scenic Route View:	<input type="checkbox"/>	Variance:	<input type="checkbox"/>
Shoreline and River Environs Review:	<input checked="" type="checkbox"/>	Rezone/Future Land/Comprehensive:	<input type="checkbox"/>
Conditional Use:	<input type="checkbox"/>	Zoning Code Amendment:	<input type="checkbox"/>
Development Agreement:	<input type="checkbox"/>	Annexation:	<input type="checkbox"/>
Planned Unit Develop (Prelim Plat):	<input type="checkbox"/>	Vacation:	<input type="checkbox"/>
Planned Unit Develop (Final Plat):	<input type="checkbox"/>	Land Use:	<input type="checkbox"/>
Subdivision (Prelim Plat):	<input type="checkbox"/>		

Details

Existing Cover:	9.24	Res Parcels:	
Proposed Cover:	11	Comm Parcels:	
Open Space Sq.Ft.:	33312	Engineer Name:	
# of Parking:	4	Engineer Email:	
Max Grade %:	1	Engineer Phone:	
Average Grade %:	1	Pre-App Date:	
Total Acreage:	1	Condominiums:	
Zoned Density:	0	Townhomes:	
Proposed Density:	0	PUD Name:	
Total Exist Lot:	0	Architect Name:	
Total Proposed Lot:	0	Architect Email:	
Min Lot Frontage:	0	Architect Phone:	
Min Lot Size:	0	Proposed Uses:	
Surveyor Name:		Scenic Frontage:	
Surveyor Email:		# of New Trees:	
Surveyor Phone:		# of New Shrubs:	
Subdivision Name:		Floodplain:	
Existing Parcels:	0	Shoreline Frontage:	
Proposed Parcels:	0	High Water Mark:	
New Construction	567		
Sq Ft:			

Sign

Proposed color palette:
Total signage area existing:
Total signage area proposed:
Length of street facing wall in linear feet:
Length of property frontage in linear feet:
If multiple frontages, please add lengths from street 2:
Sign Company:
Proposed Lighting:

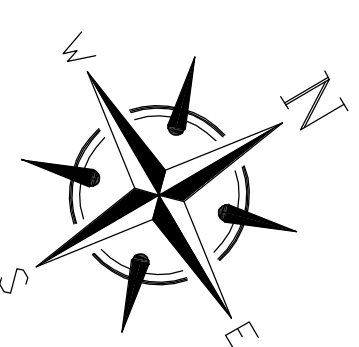
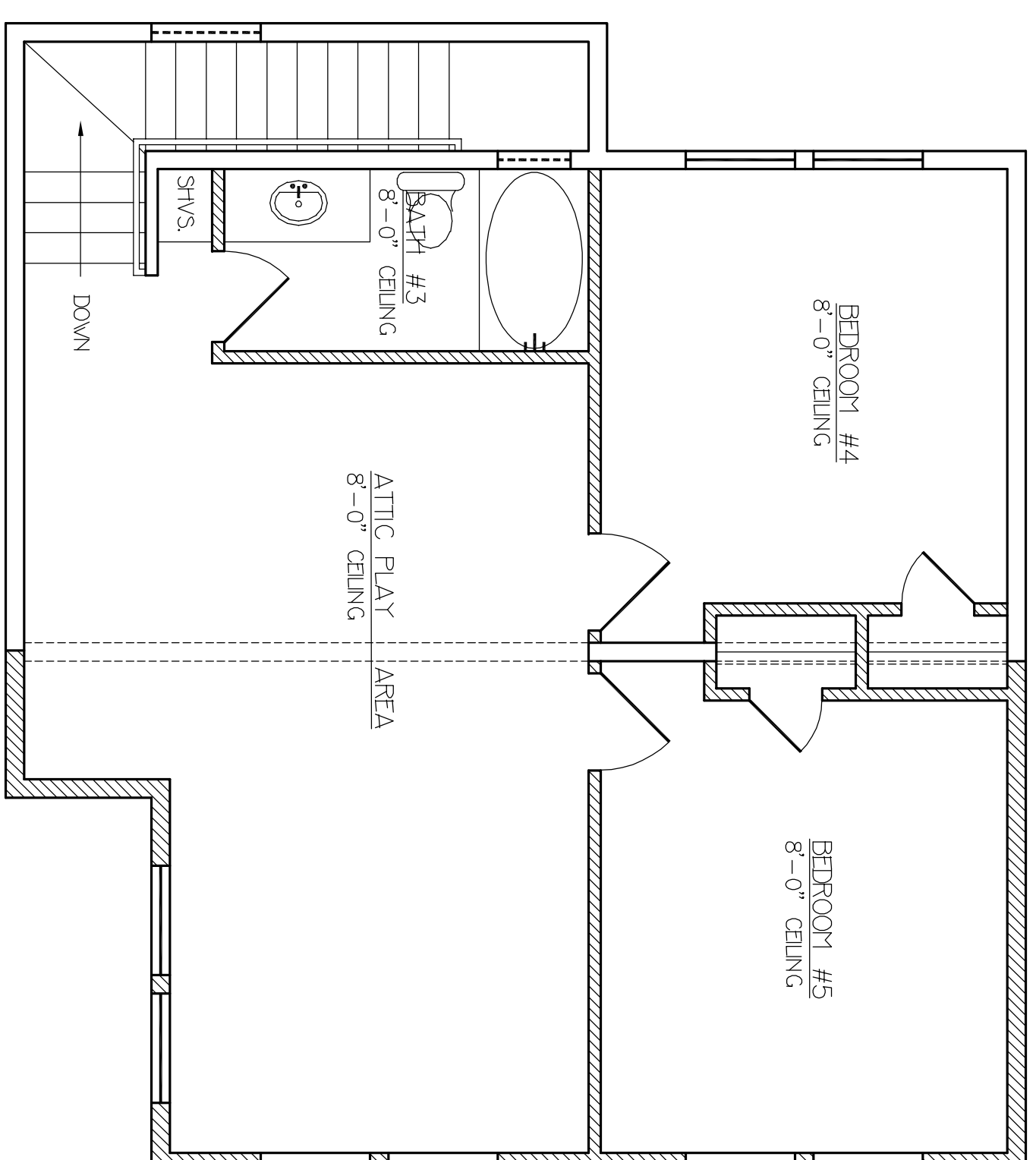
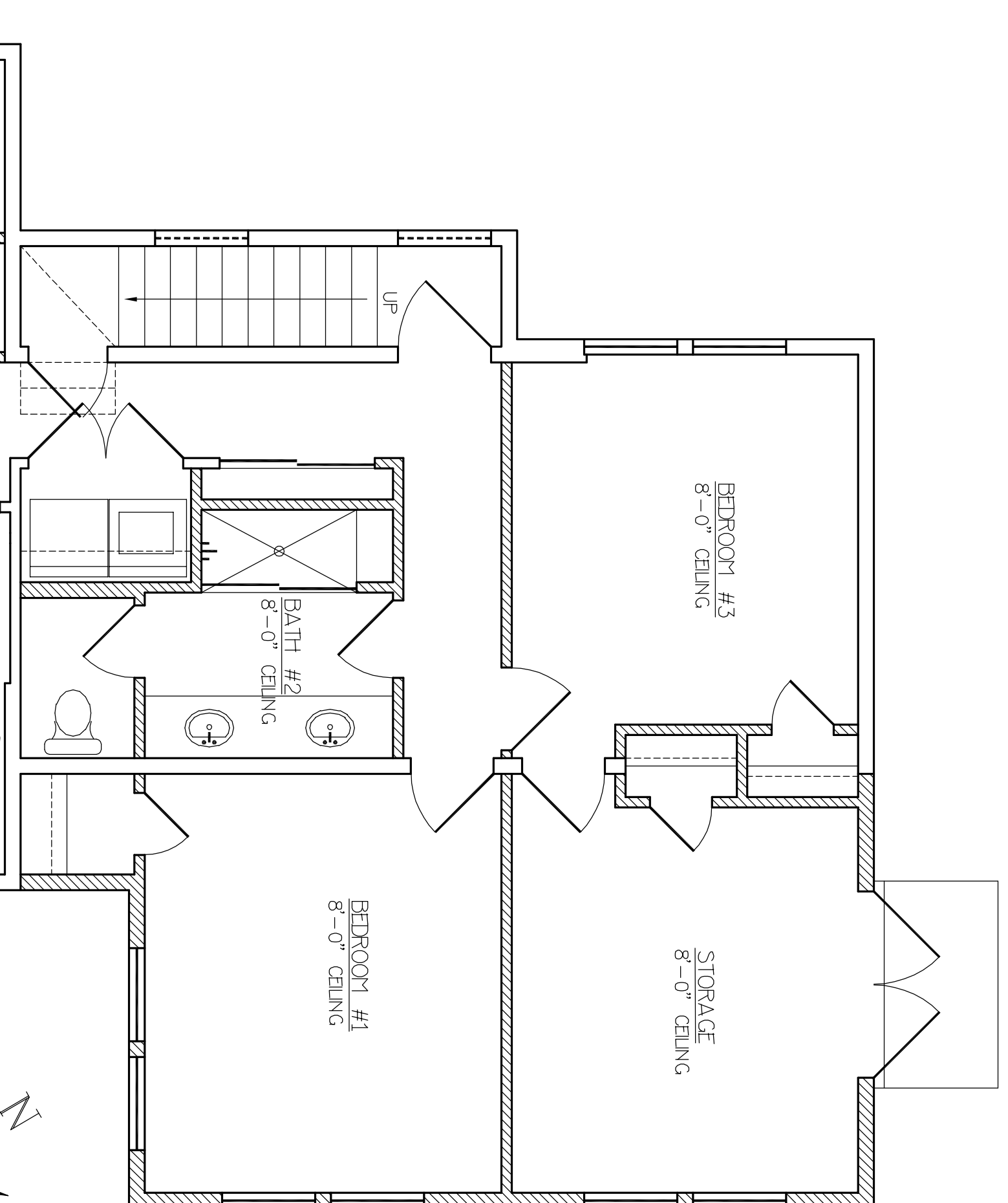
I do hereby certify that the information contained herein is true and correct.

John S. Lowe

Name

10/19/2024

Date



UPSTAIRS PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

CROSSHATCHED WALLS INDICATE NEW CONSTRUCTION

ADDITION AREA CALCULATIONS:

EXISTING UNDER ROOF AREA = 2268.84 SQ. FT.

ALLOWED NEW UNDER ROOF AREA x 1.25% (2836.05 SQ. FT. MAXIMUM ALLOWED)

NEW UNDER ROOF AREA = 2835.57 SQ. FT.

DRIVEWAY AREA CALCULATIONS:

EXISTING GRAVELLED DRIVEWAY/PARKING AREA: 4087 SQ. FT.

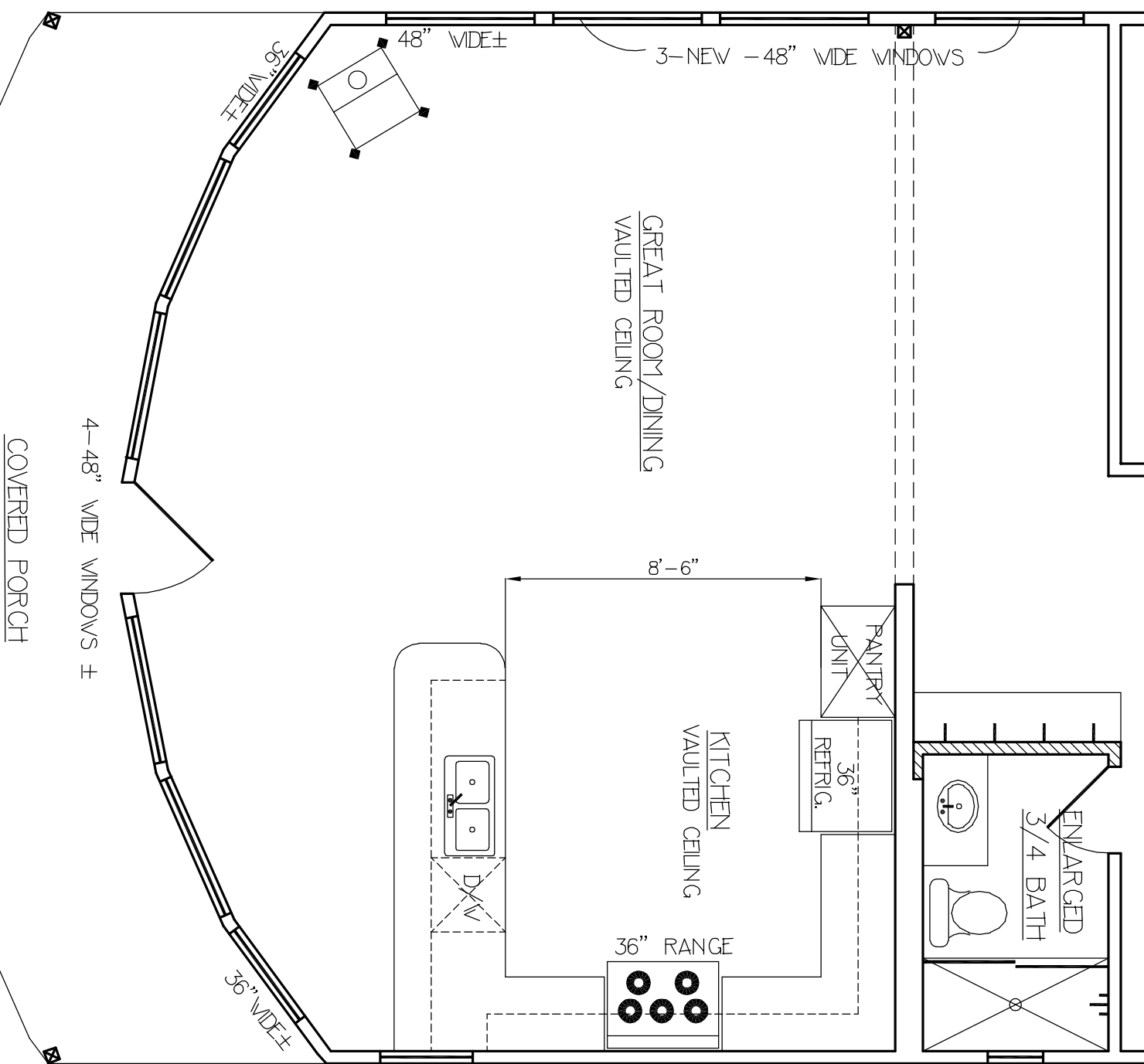
PROPOSED GRAVELLED PARKING AREA EXPANSION: 453 SQ. FT.

GROSS LOT AREA:

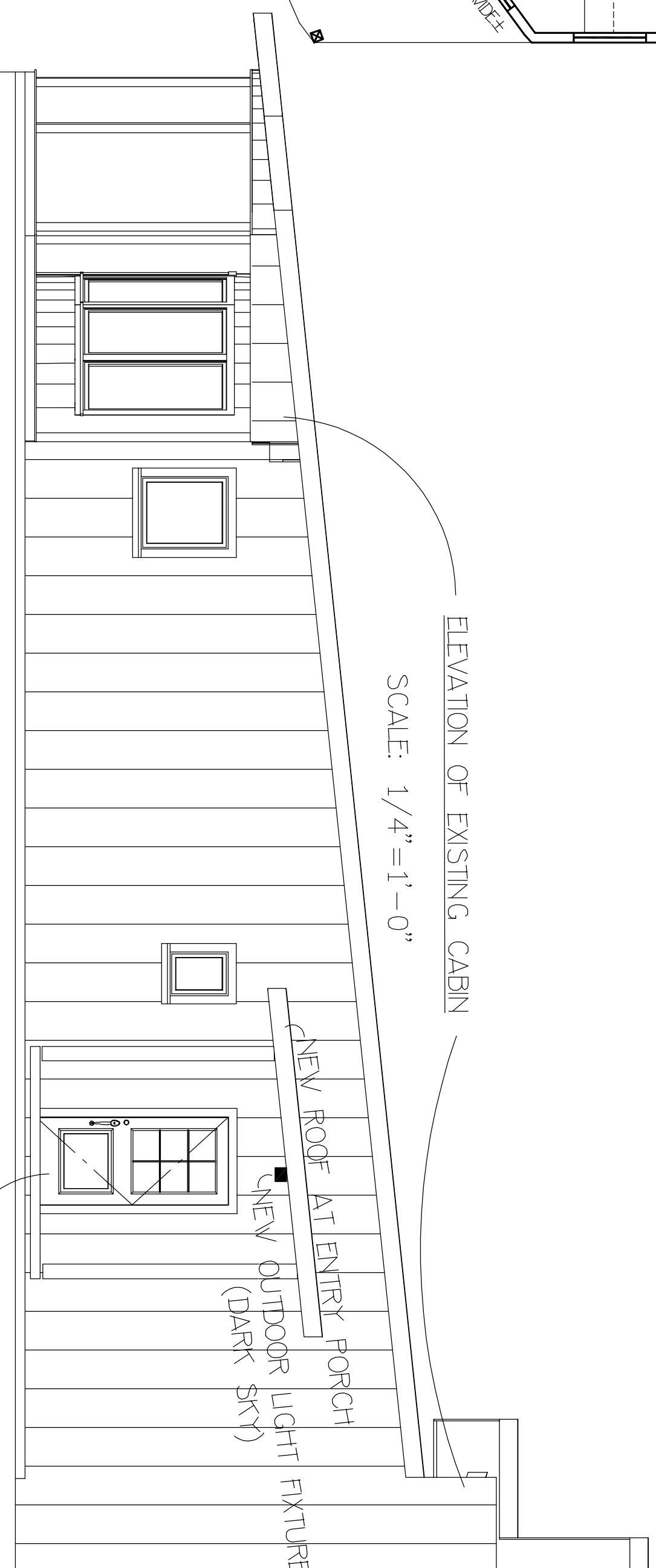
37322 SQ. FT.

LAKE COTTAGE ADDITION

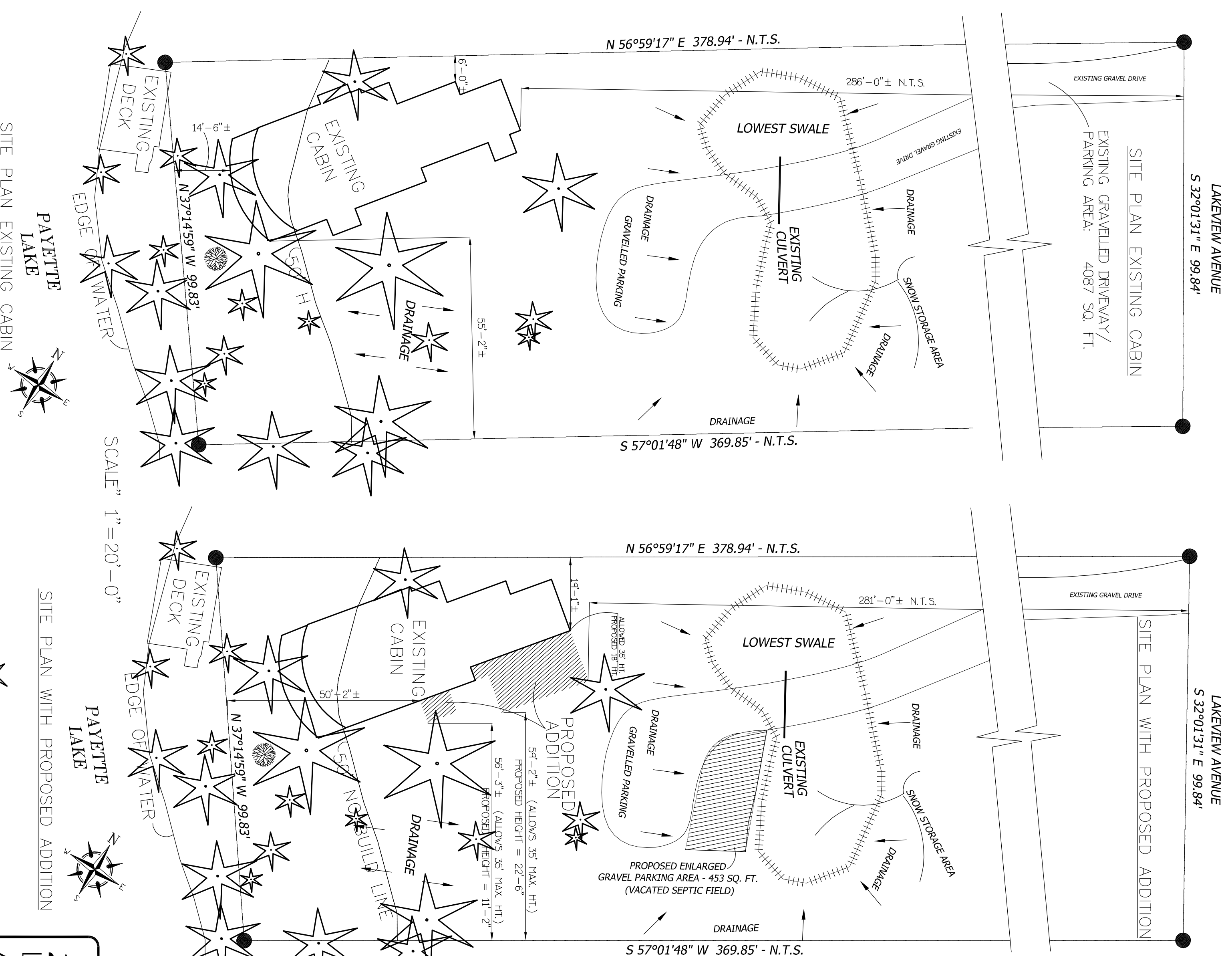
DOWNSTAIRS PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"



ELEVATION OF EXISTING CABIN
SCALE: 1/4"=1'-0"



ELEVATION OF PROPOSED ADDITION AREAS

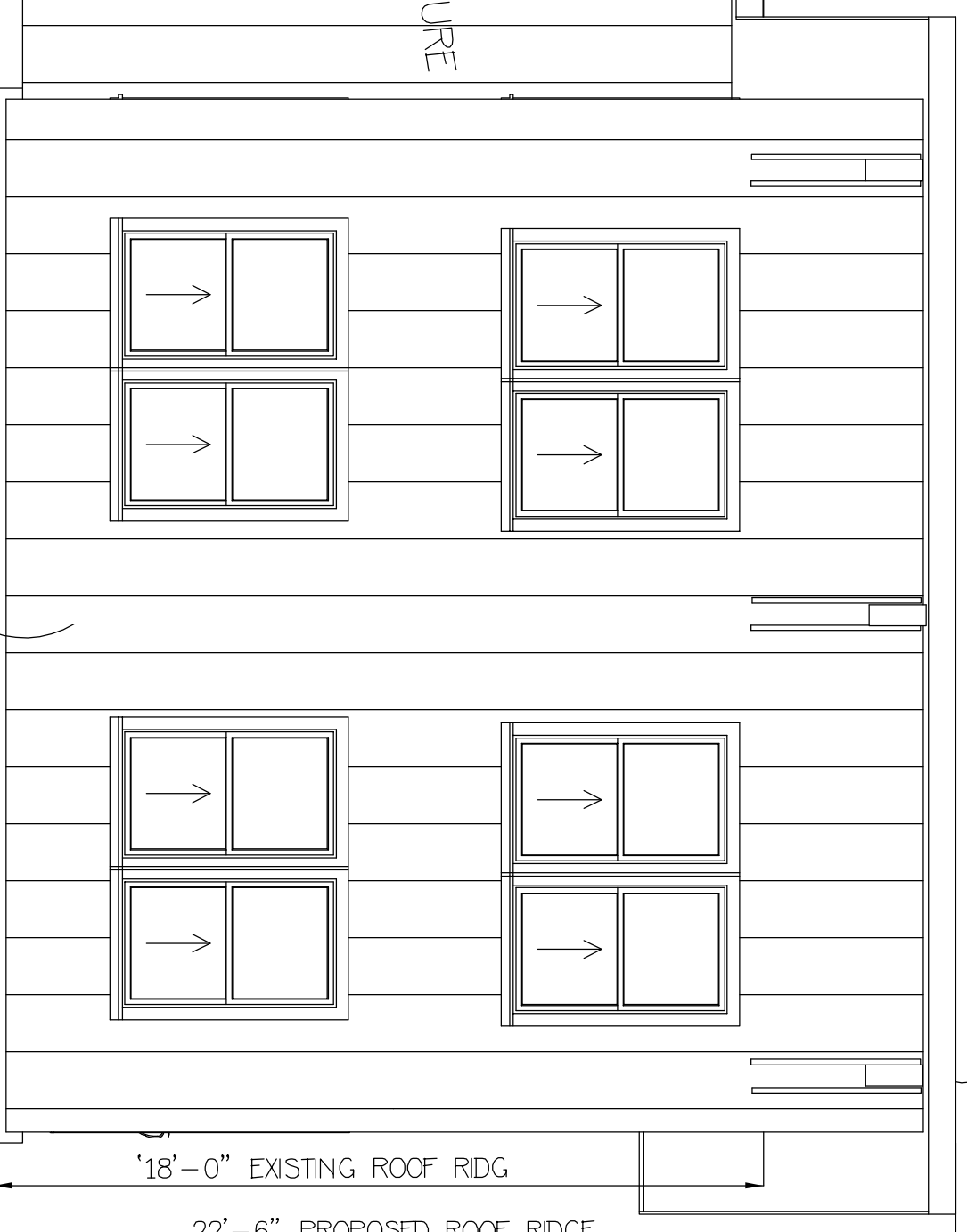


SCALE: 1"=20'-0"

SITE PLAN WITH PROPOSED ADDITION



NEW ROOF EXTENDED AT SAME PLANE AS EXISTING

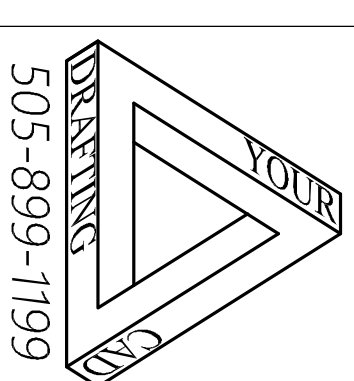


ORIENTATION	MEASURED BY	J.L.
DESIGNED BY	C/L L	R 0
DRAFTED BY	M.G.	F 2
CHECKED BY	J.L.	R 0
REVISED:		N 0
DATE	10-22-24	E 7

OF 01
SHEET #
01

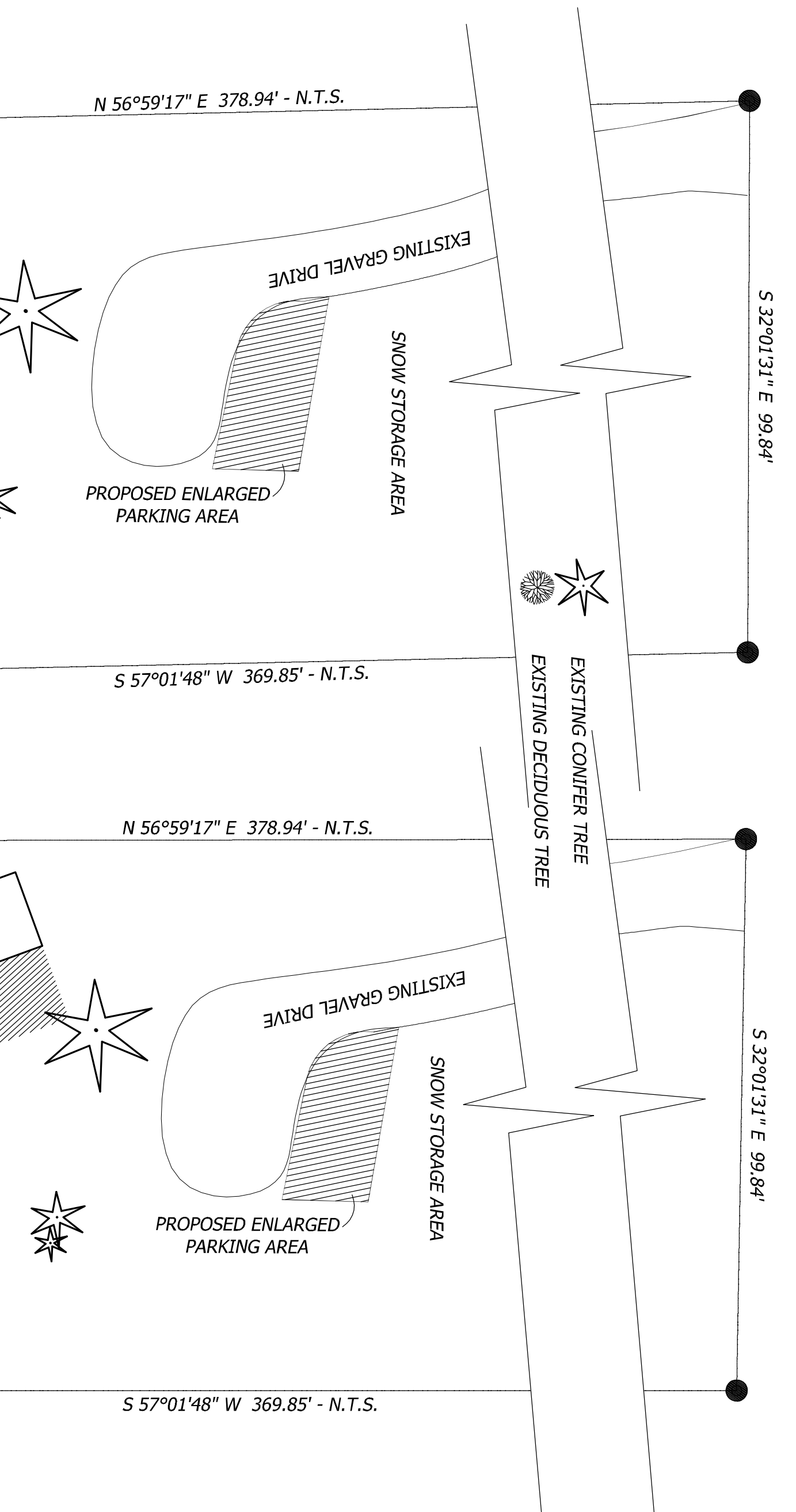
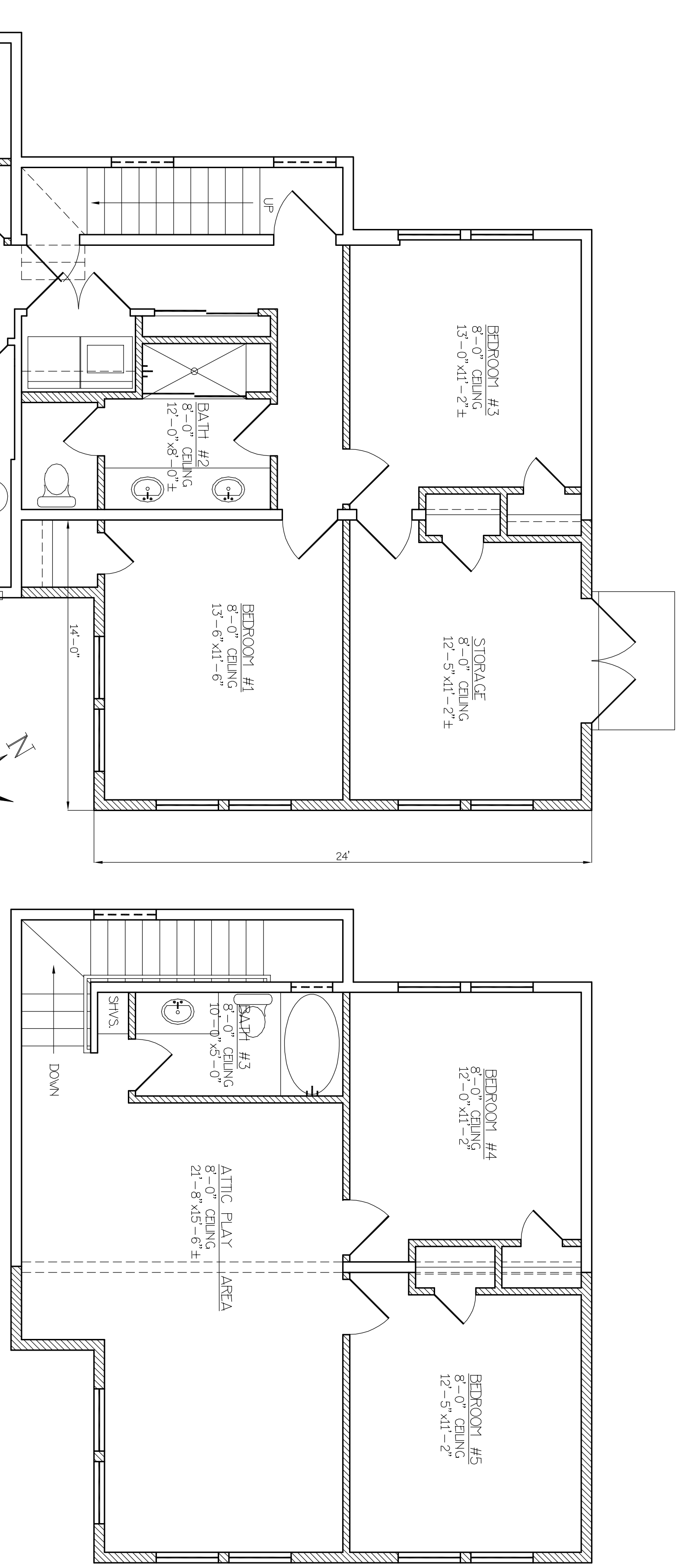
CLIENT:
LOWE LAKEVIEW L.L.C.

PROJECT:
2191 LAKEVIEW AVENUE LAKE COTTAGE ADDITION



2191
Lake View Avenue

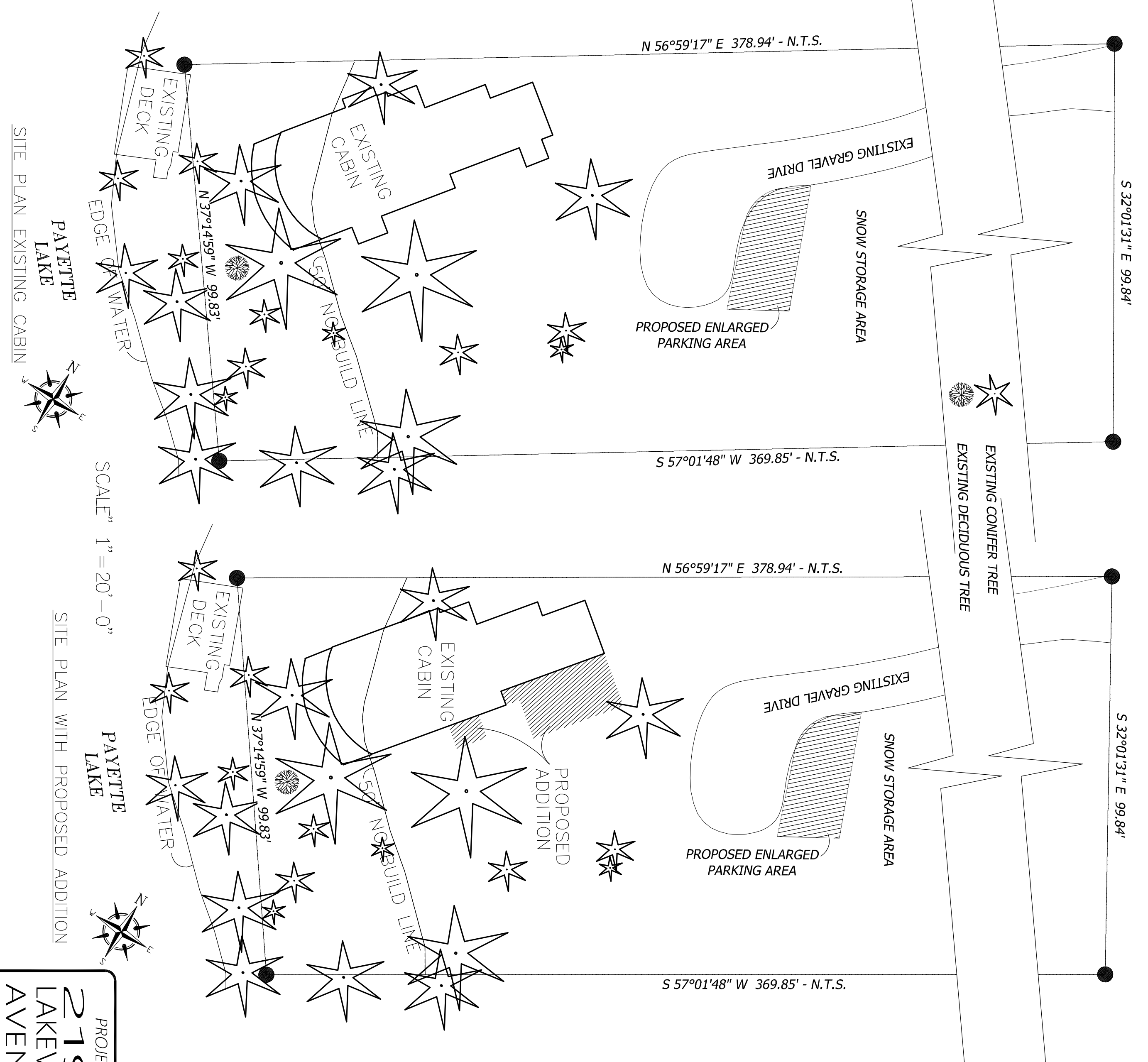
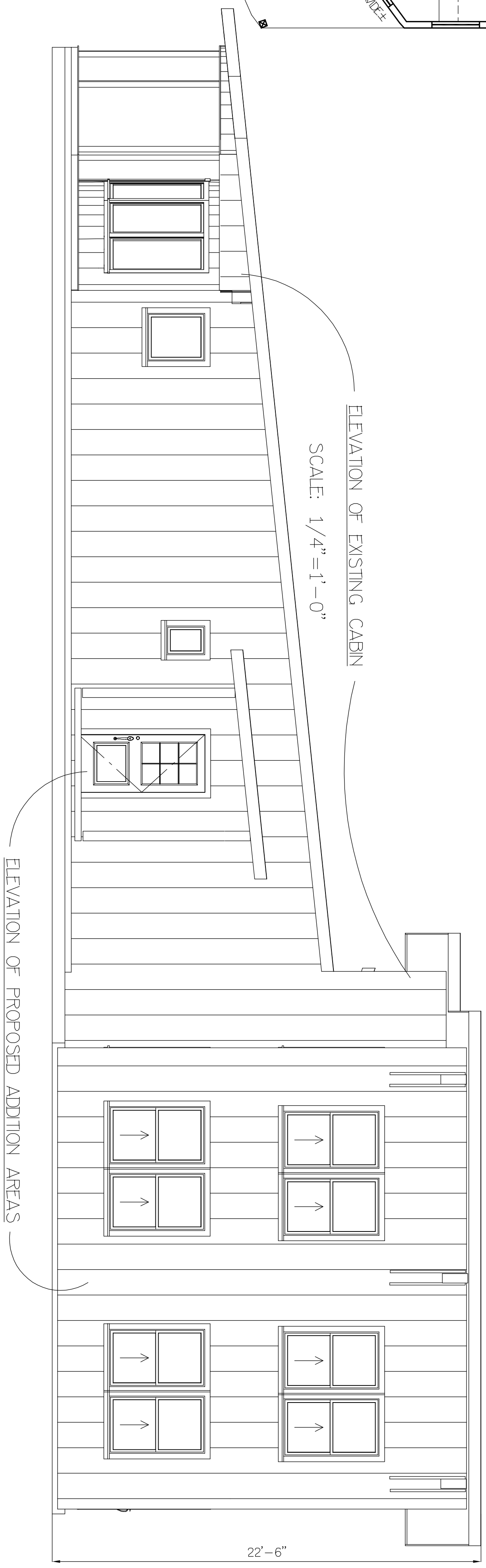
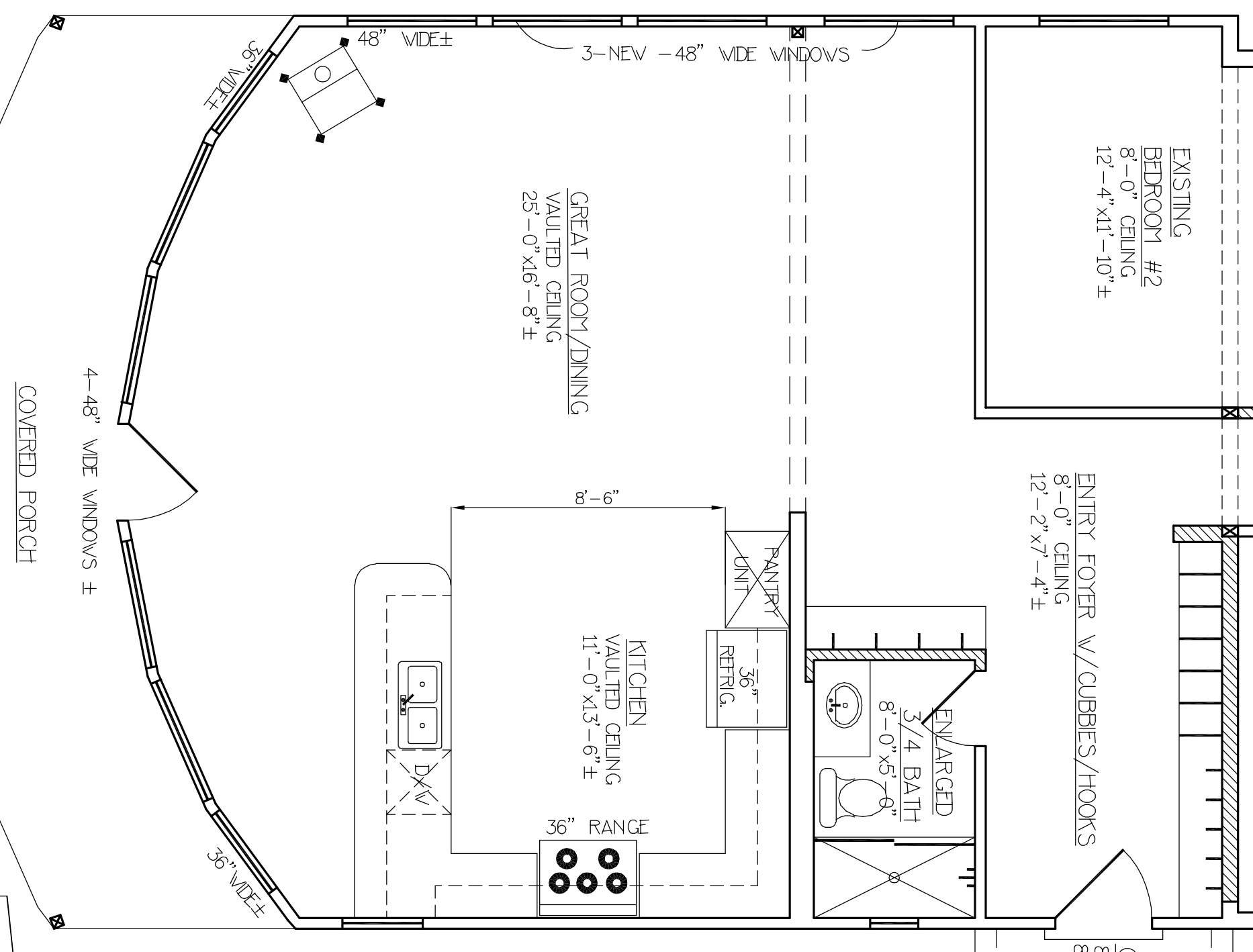
2191
Lake View Avenue



CROSSHATCHED WALLS INDICATE NEW CONSTRUCTION

AREA CALCULATIONS:
EXISTING UNDER ROOF AREA = 2268.84 SQ. FT.
ALLOWED NEW UNDER ROOF AREA x 1.25% (2836.05 SQ. FT. MAXIMUM ALLOWED)
NEW UNDER ROOF AREA = 2835.57 SQ. FT.

LAKE COTTAGE



SITE PLAN WITH PROPOSED ADDITION

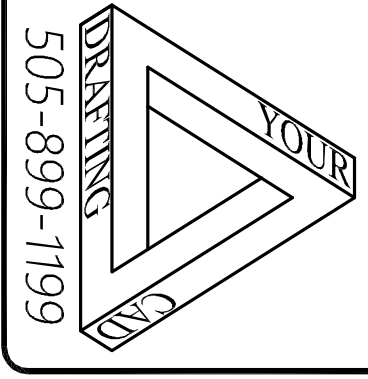
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CHECKED BY	J.L.	R	E	0
REVISIONS	DATE	C	N	0
SCALE	DATE	E	N	7
AS NOTED	10-17-24	#		

SHEET #
01
OF 01

PROJECT:
2191 LAKEVIEW AVENUE

DESCRIPTION:
LAKE COTTAGE ADDITION

CLIENT:
THE LOWE FAMILY



505-899-1199

Building Project Information Calculator



Project Owner or Applicant Name

Lowe Lakeview LLC

McCall Project Address

MCCALL ADDRESSES ONLY

2191 Lakeview Ave, McCall Idaho

Please enter the PROJECT SITE ADDRESS in McCall, not a current home or business address

PLEASE VERIFY THE ADDRESS ENTERED IS THE MCCALL PROJECT ADDRESS INSIDE OF THE CITY OF MCCALL, IDAHO, AND NOT AN ADDRESS OUTSIDE OF MCCALL (i.e. not the contractor's address or primary address of project owner)

I verify that the above address is the PROJECT SITE ADDRESS within the city of McCall *

I verify I have entered a McCall Address

Phone Number

5056886834

E-mail

jlowe14@comcast.net

Allowable Lot Coverage Calculator

Total Lot Area in Square Feet

37,332

Lot Coverage Percentage Allowed

20.47

Lot Coverage Allowed

7,642

Proposed Lot Coverage

Footprint of Existing Structures (including covered exterior spaces)

Enter square feet

1,854

Footprint of Proposed Structures (including covered exterior spaces)

Enter square feet

397

Calculated Structure Footprint

Based on 100% of actual square feet

2,251

Area of Existing (uncovered decks, patios, walkways, plazas, etc.)

Enter square feet

0

Area of New (uncovered decks, patios, walkways, plazas, etc.)

Enter square feet

27

Calculated Footprint

Based on 50% of actual square feet

14

Existing Driveways (driveways, surface parking, etc.)

Enter square feet

4,087

New Driveways (driveways, surface parking, etc.)

Enter square feet

453

Calculated Driveway Footprint

Based on 35% of actual square feet

1,589

Total Proposed Lot Coverage

in square feet

3,854

Proposed Structure Size

Existing Occupied Space

square feet

1,945

Existing Unoccupied Space

square feet

172

Existing Covered Exterior Space

square feet

151

New Occupied Space

square feet

New Unoccupied Space

square feet

New Covered Exterior Space

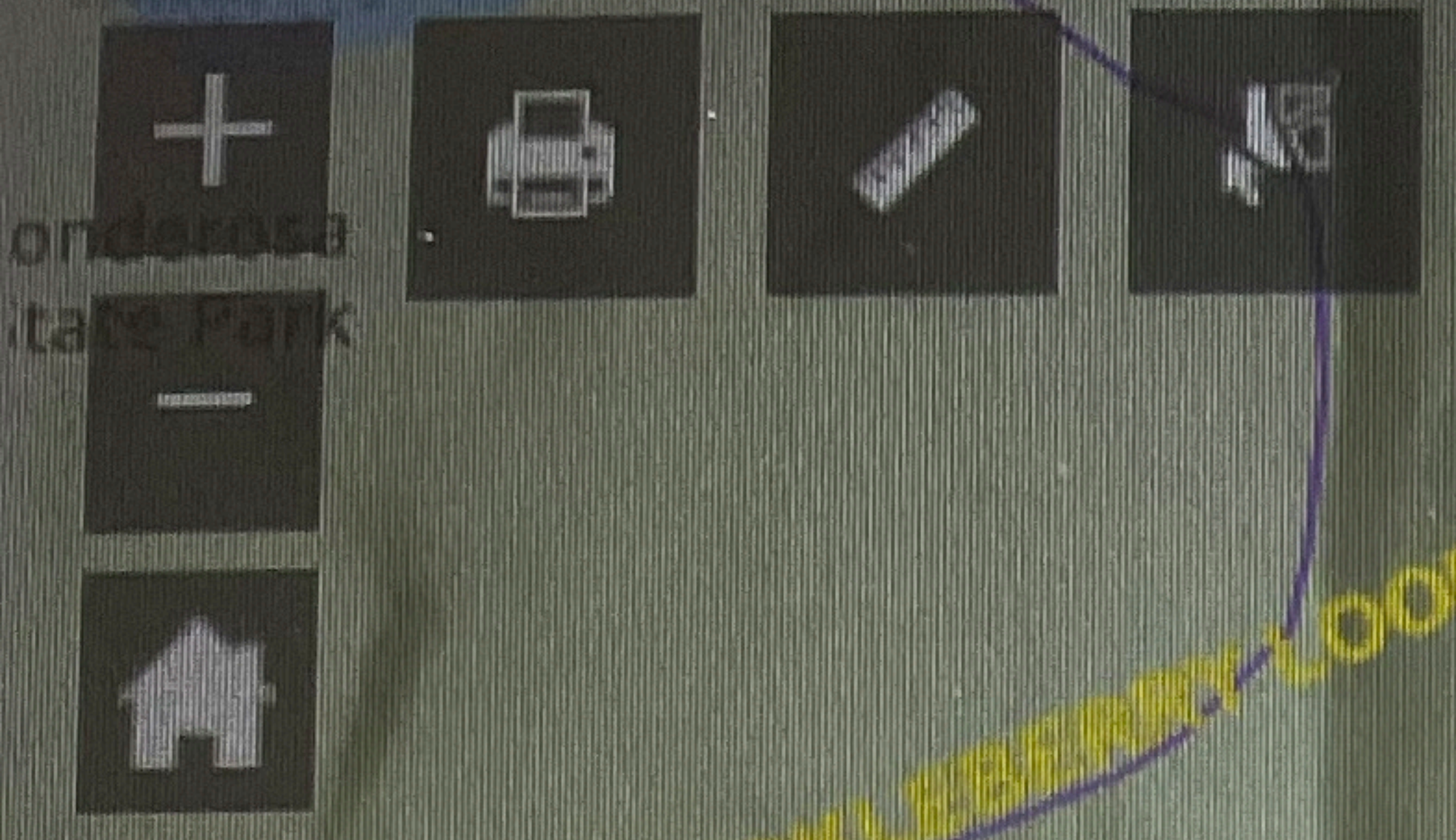
square feet

Total Structure Size

Square Feet

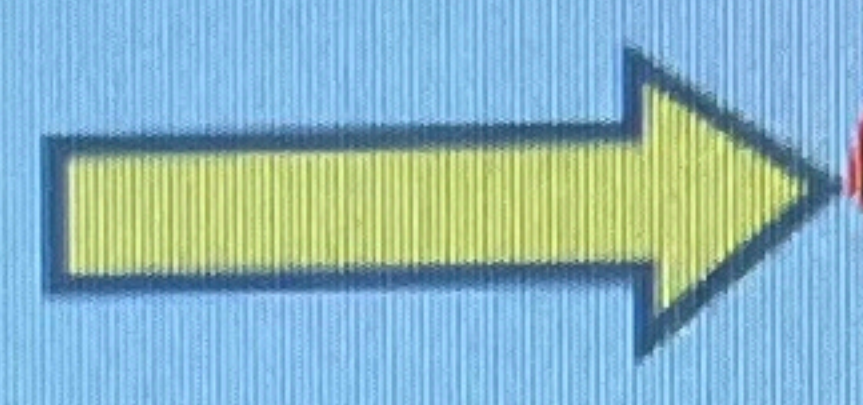
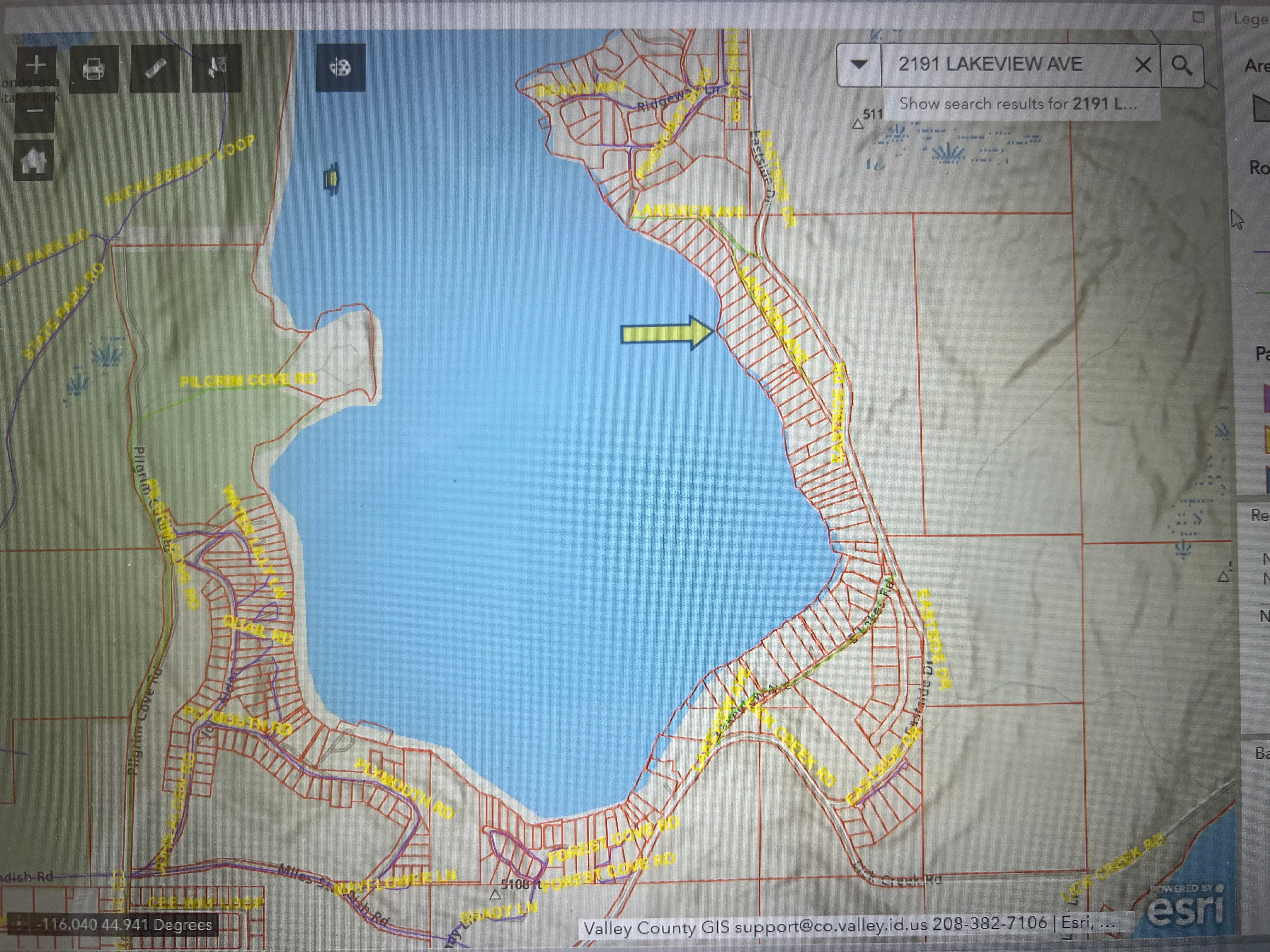
2,835

All projects with structure size over 3500 square feet require design review. Contact the Assistant City Planner at mtodd@mccall.id.us.



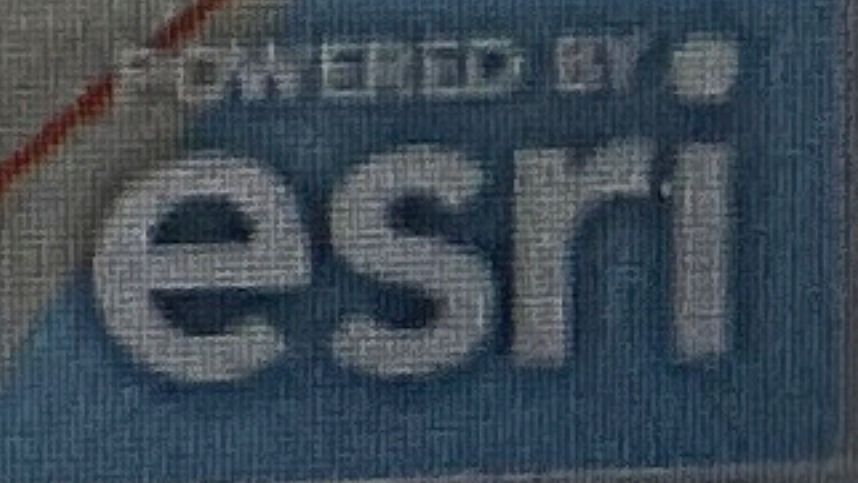
2191 LAKEVIEW AVE X

Show search results for 2191 L...













-116.040 44.941 Degrees

Valley County GIS support@co.valley.id.us 208-382-7106 | Esri, ...

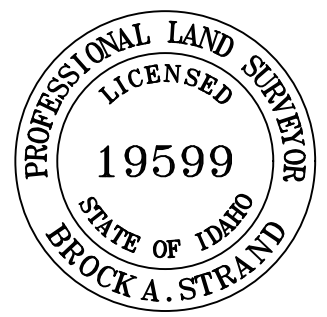
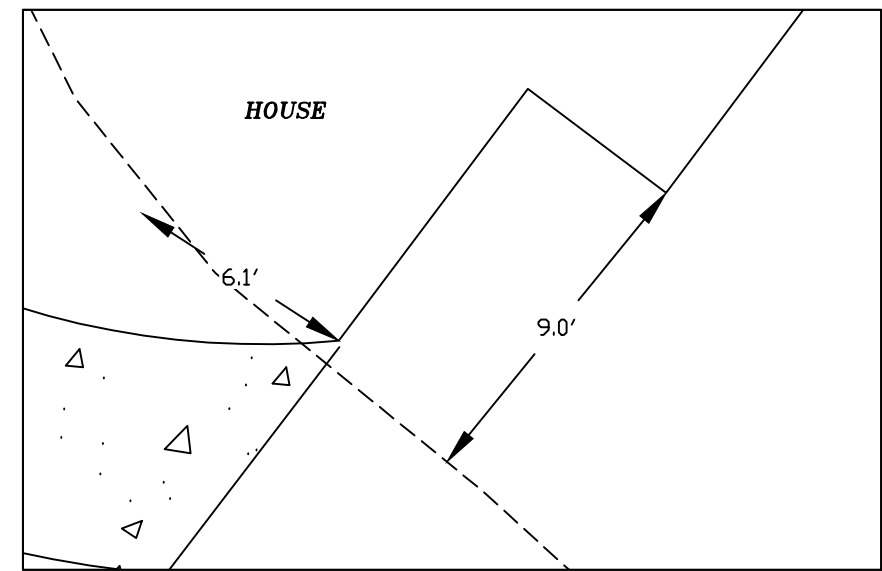
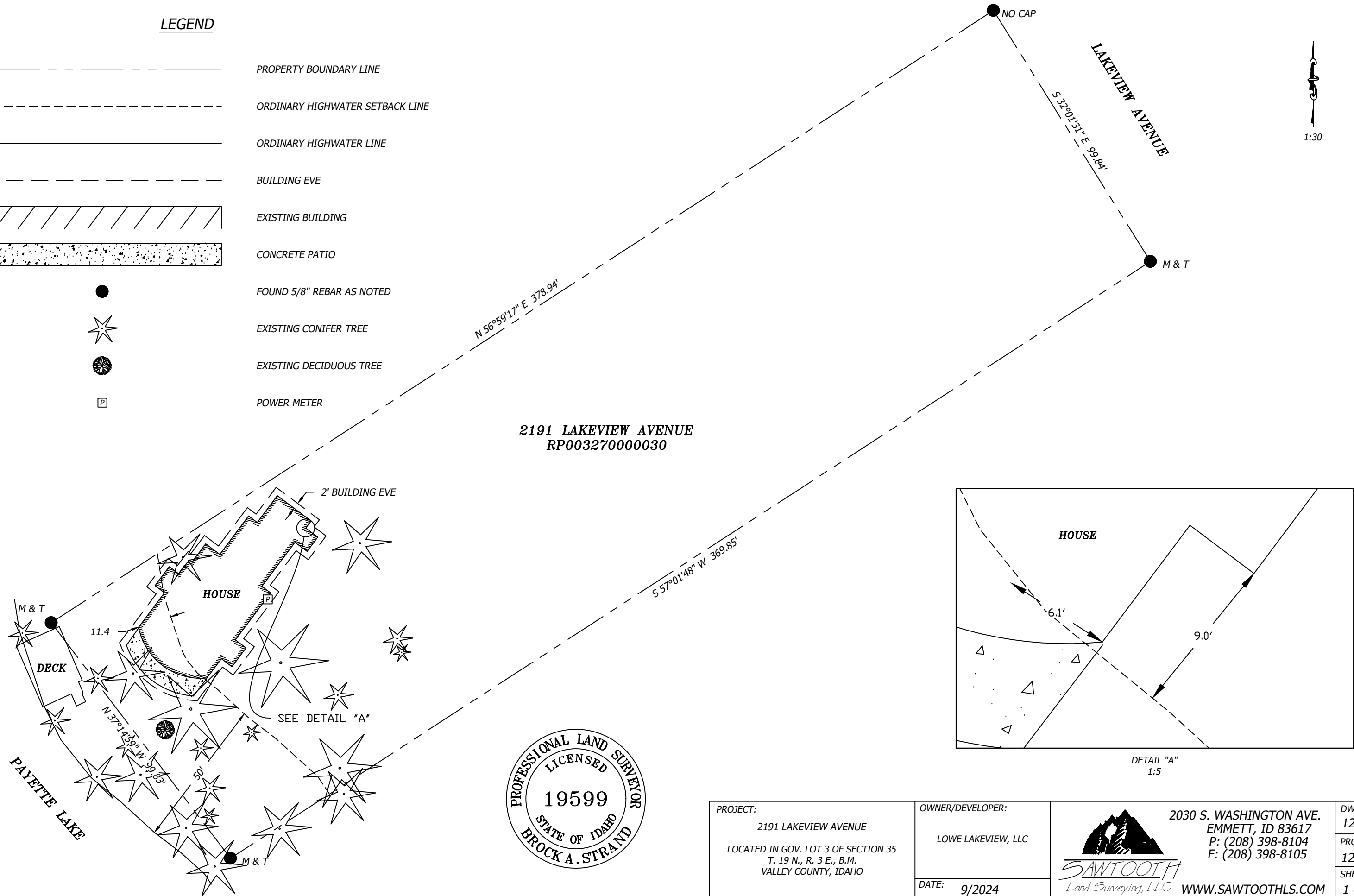



LEGEND

-  PROPERTY BOUNDARY LINE
-  ORDINARY HIGHWATER SETBACK LINE
-  ORDINARY HIGHWATER LINE
-  BUILDING EVE
-  EXISTING BUILDING
-  CONCRETE PATIO
-  FOUND 5/8" REBAR AS NOTED
-  EXISTING CONIFER TREE
-  EXISTING DECIDUOUS TREE
-  POWER METER



**2191 LAKEVIEW AVENUE
RP003270000030**



<p>PROJECT: 2191 LAKEVIEW AVENUE LOCATED IN GOV. LOT 3 OF SECTION 35 T. 19 N., R. 3 E., B.M. VALLEY COUNTY, IDAHO</p>	<p>OWNER/DEVELOPER: LOWE LAKEVIEW, LLC</p>	<p>2030 S. WASHINGTON AVE. EMMETT, ID 83617 P: (208) 398-8104 F: (208) 398-8105</p>	<p>DWG # 124161 PROJECT# 124161 SHEET</p>
<p>DATE: 9/2024</p>		<p> Land Surveying, LLC WWW.SAWTOOTHLS.COM</p>	<p>1 OF 1</p>